



# DEPARTMENT OF GENERAL SERVICES

Executive Office

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April 4, 2003

The Honorable Wesley Chesbro, Chair  
Joint Legislative Budget Committee  
State Capitol, Room 4081  
Sacramento, CA 95814

Dear Senator Chesbro:

Enclosed is the annual Capitol Area Plan Progress Report as required by Government Code Section 8164.

The progress report includes an update of state office and housing projects and activities relating to the Capitol Area, with a focus on the year 2002 activities. All reported items are consistent with the implementation strategy of the 1997 Capitol Area Plan and support the Plan's statutory objectives.

If you require further information on this matter, you may have your staff contact John H. Brooks, Chief, Asset Planning and Enhancement Branch, Real Estate Services Division, Department of General Services, at (916) 376-1829.

Very truly yours,

Clothilde V. Hewlett, Interim Director  
Department of General Services

CVH:md

Enclosure

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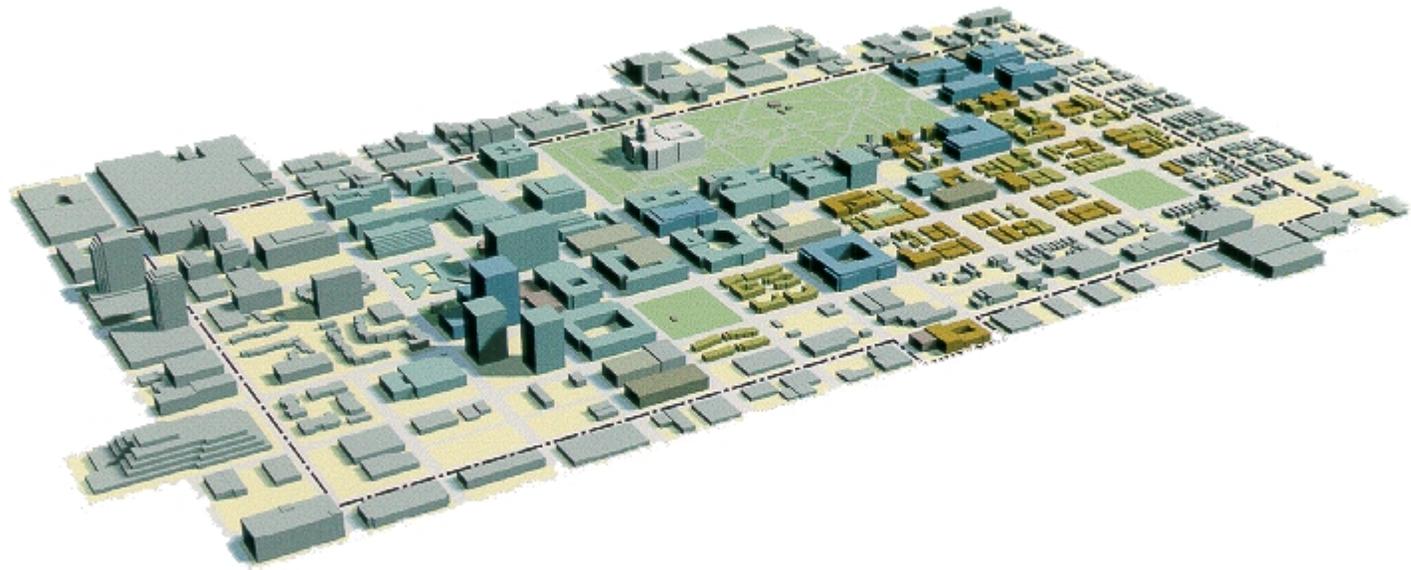
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**LEGISLATURE--REVISED 03/24/03**

# CAPITOL AREA PLAN PROGRESS REPORT

JANUARY 2003



# **CAPITOL AREA PLAN PROGRESS REPORT**

*JANUARY 2003*

**STATE OF CALIFORNIA**  
Gray Davis, Governor

**STATE AND CONSUMER SERVICES AGENCY**  
Aileen Adams, Secretary

**DEPARTMENT OF GENERAL SERVICES**  
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Prepared By

**ASSET PLANNING AND ENHANCEMENT BRANCH**  
John H. Brooks, Chief

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## **EXECUTIVE SUMMARY**

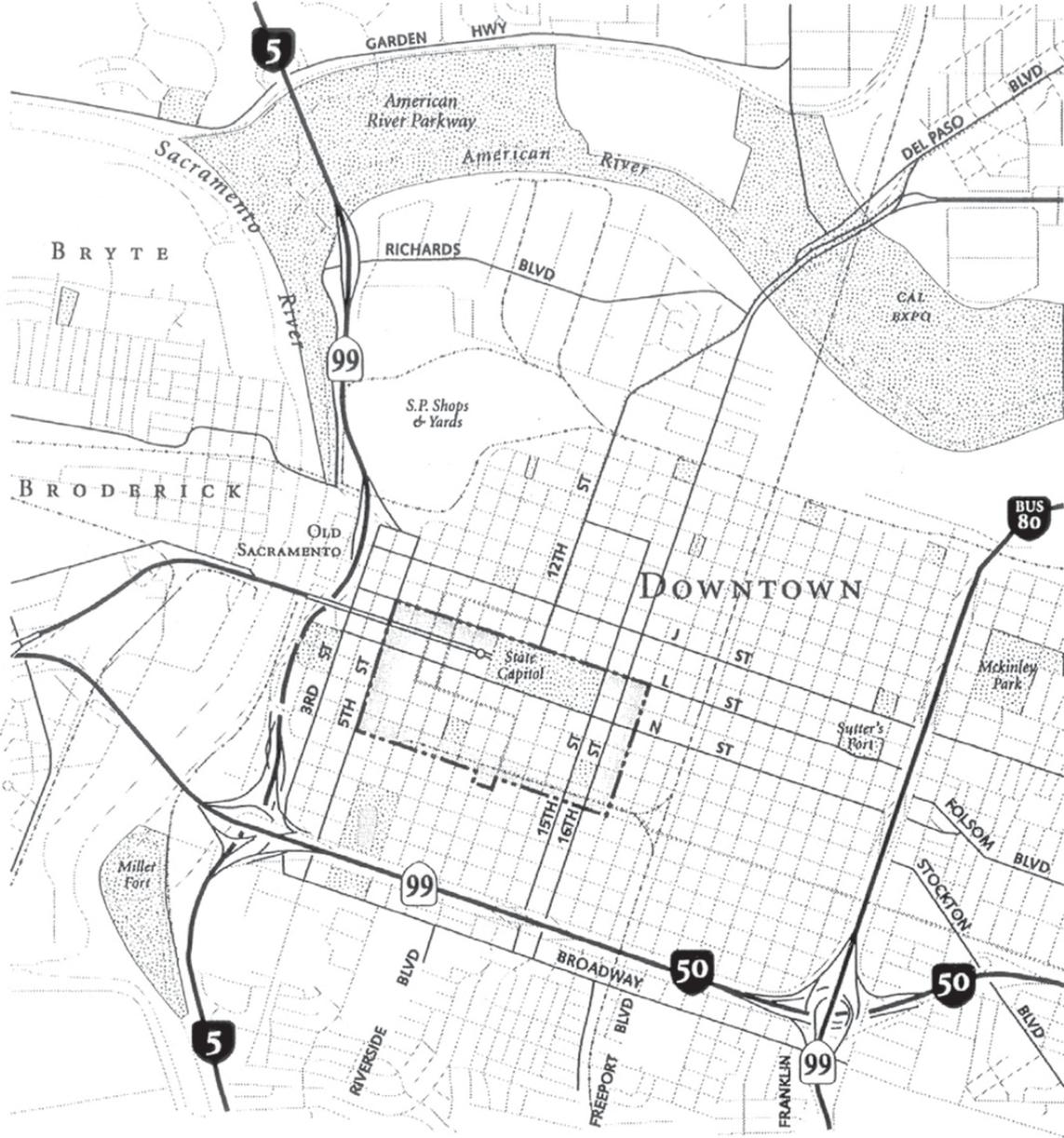
The Capitol Area Plan Progress Report describes the significant progress made in 2002 to advance the Plan's vision and develop the Capitol Area in downtown Sacramento into a vibrant, mixed-use community of state offices, housing, and retail. In addition to the occupancy of the first building in the signature Capitol Area East End Complex and the positive market response to the Capitol Park Homes, the Capitol Area was enlarged to include the R Street Corridor, offering new opportunities for Capitol Area Plan housing objectives. Public space within the Capitol Area was enhanced with the opening of a pocket park tucked into the East End Complex and stunning art installations representing a diversity of artists and media.

### **State Offices**

In September 2002, the State of California dedicated the first of five new state office buildings, which are the first green/sustainable design office buildings and the largest office building project ever to be constructed by the state. In conjunction with the Governor's Sustainable Building Task Force, the East End Complex project incorporates state-of-the-art sustainable and energy efficient design and construction features that enable the complex to exceed Title 24 building code requirements by 30 percent. It supports local downtown redevelopment goals and state office program priorities and establishes a prominent state presence east of the State Capitol. The project:

- Transforms a five-block area to the east and south east of Capitol Park into a 1.3 million net square foot (NSF) complex of buildings consolidating office space needs of the Departments of Health Services and Education.
- Includes ground floor retail, child care, and joint use opportunities, such as after hours parking and training, conference, and auditorium space available for public use, to support the adjacent neighborhood.
- Offers numerous opportunities for public art installations representing the spirit of this state and created by distinguished California artists.

Capitol Area and Central City



- Is fully occupied in the Department of Education Headquarters building with occupancy of the remaining four buildings expected to begin in spring of 2003.

The state has received authorization to develop a major signature office project at the west end of the Capitol Area to complement the East End. This project:

- Responds to legislation signed by Governor Davis, Senate Bill 809 (Ortiz) (Ch. 672, Stats. of 2001), to develop a \$391 million, 1.0 million NSF state office project two blocks west and south of the Capitol.
- Presents an opportunity for the state to improve a site that currently consists of two blocks of undeveloped and underutilized state-owned land.
- Consolidates fragmented state office uses in an energy efficient office complex that will reflect the state's commitment to design excellence.

The state continued the aggressive energy management, savings, and awareness program initiated during the energy shortages of 2001, maintaining the 20 percent reduction in energy consumption in 37 of the state's largest buildings. In Sacramento, the Department of General Services (DGS) has saved 1,000 megawatt hours with various innovative lighting retrofit projects and has started projects totaling over \$2 million that will provide another 7,000 megawatt hour annual savings. The DGS conducted Federal Environmental Protection Act benchmarking on the DGS facilities to determine each building's level of energy efficiency. The department received the Energy Star Label for superior energy performance for seven facilities, including the Department of Justice Building and the Board of Equalization Building in downtown Sacramento.

Work is in progress to upgrade state buildings to meet the architectural accessibility requirements of the California Building Code. In 2001, the Governor's Americans with Disability Act (ADA) Interagency Task Force awarded the DGS over \$10 million to remove architectural barriers to persons with disabilities from 30 DGS-owned buildings, including 14 buildings in the Capitol Area. In addition to this program, the DGS annually funds barrier removal projects in its support budget. The DGS is also planning several renovation projects that will include ADA access improvements as part of the scope of work.

## Housing and Retail

The Capitol Area Development Authority (CADA), responsible for Capitol Area residential and commercial development, continued development of a mix of residential (including market rate and affordable housing) and supporting retail/commercial projects to appeal to the growing downtown housing market. On September 2, 2002, Governor Davis signed Senate Bill 1460 (Ortiz) (Ch. 468, Stats. of 2002) that extends the boundary of the Capitol Area one block south to S Street, and two blocks east to the railroad right-of-way between 19<sup>th</sup> and 20<sup>th</sup> Streets, between Q and S Streets. To accelerate the redevelopment efforts along the southern border of the Capitol Area, CADA will prepare a redevelopment plan for the R Street Area that complements the objectives of the Capitol Area Plan.

### CADA Projects Under Construction or Development

- **Capitol Park Homes** – construction should be complete by early 2003 on 64 for-sale, detached single family homes on a two-block site south of the Capitol. The project had considerable early interest by prospective buyers and currently all but two of the units have sold.
- **Capitol Lofts (CADA Warehouse)** – design development is underway for the project, which includes renovation of existing buildings and new construction. It introduces a new product to Sacramento with the development of 102 for-sale units that include flats, live/work units, townhouse lofts, and penthouses. Construction is expected to begin in late 2003 and to be completed in mid 2005.
- **Fremont Mews** – construction is expected to begin in late 2003, with completion in mid-2005, on this mix of living units and open space features. The project will include 118 rental units and preservation of a portion of the existing Ron Mandella Community Garden. An alternative site has been acquired in the South Side Park neighborhood to accommodate the remaining portion of the garden.
- **East End Gateway** – four sites along 16<sup>th</sup> Street designated for housing will be offered for development as a single project. The project will further enhance this entry into the Capitol Area. Requests for Qualifications will be issued in early 2003 with completion projected for early 2006.

### **CADA Projects Recently Completed**

- **Fremont Building** – fully-occupied project on 16<sup>th</sup> Street, completed in June 2001, consisting of 69 apartment units built over ground floor retail offering a mix of eating establishments and services.
- **Seventeenth and N Streets** – includes the renovated eight-unit art deco apartment building relocated from the East End Project site and construction of an additional ten new apartment units.

### **Other Capitol Area Activities**

- **State Capitol Building** – Somber events of 2001, including the January truck crash into the State Capitol Building and September 11 terrorist attacks, have forced officials to re-examine security and access issues for the buildings that serve as the seat of California state government. Repairs to the South Portico of the Capitol damaged by the truck crash were completed in summer 2002. The exterior of the State Capitol was also painted for the first time since its restoration 20 years ago. Progress on the development of the Capitol Park Master Plan was suspended after the truck crash so that state officials could assess the implication that any resulting security measures would have on Capitol Park and its master plan.
- **Memorials** – Progress was made on two memorials that were legislatively authorized for development in Capitol Park. Construction of the Firefighters Memorial was completed in April 2002. A ceremonial groundbreaking for the World Peace Rose Garden was held on September 11, 2002, with construction expected to begin in January 2003. A third authorized memorial, the Mexican-American War Memorial, is in the early planning stages.



# 1. INTRODUCTION

In July 1997, the Director of the DGS approved the updated Capitol Area Plan, which, by law, is the official state master plan for development in the Capitol Area. The Plan provides for the orderly development of the state's office facilities on state-owned land in a statutory defined geographic area (between 5<sup>th</sup>/17<sup>th</sup> Streets and L/R Streets) to the south, east, and west of the State Capitol Building and Capitol Park. The DGS is responsible for the administration of the Plan, including updates, as required, and also retains responsibility for the implementation of the office and parking elements in the Plan. CADA, a state-city joint powers authority, retains the responsibility for the implementation of the housing and retail-commercial elements of the Plan.

Other groups with roles in Capitol Area planning include the Capitol Area Committee, which was formed in 1977 to advise the Director of the DGS on planning issues and activities in the Capitol Area and to ensure public interests are represented in the planning process. At the same time, and to support this effort, the Capitol Area Technical Advisory Committee was formed to provide the Capitol Area Committee with technical input on Capitol Area issues. The DGS and CADA work closely with the Capitol Area Committee and the Technical Advisory Committee on every aspect of the planning, reporting, and implementation of the Capitol Area Plan. These committees meet regularly in public meetings. The Capitol Area Committee generally meets monthly throughout the year. The Technical Advisory Committee now meets quarterly in the months of January, April, July, and October of each year. Background and other information concerning these two committees may be found in Appendix A in this report.

The Director of the DGS approved an update to the Capitol Area Plan in July 1997, after a series of significant planning and legislative initiatives. Since the plan update, the DGS and CADA have continued to implement the vision for the Capitol Area. The chart on pages 2 and 3 provides an overview of significant Capitol Area planning activities to date.

Section 8164 of the Government Code requires the DGS to report annually to the Legislature on the progress made in the implementation of the Capitol Area Plan. The last Progress Report was issued in January 2002 and it reported on activities in 2001. This January 2003 Progress Report provides a general overview of activities since the last Progress Report, with a focus on the year 2002.

## **Capitol Area Planning Background 1995 - 2002**

### ***Urban Land Institute study of the state office program in Sacramento – April 1995***

Recommendations of the panel included:

- The state should begin immediate development of one or two million square feet of state office space.
- State-owned land in the area north of Q Street in the Capitol Area should be the state's first priority for locating downtown office space, with the Central Business District being the second priority.
- Programs requiring very large floor plates or having no programmatic need to be near the Capitol would be appropriately located outside the downtown area.

### ***Master Planning Studies – Spring 1996***

The DGS and CADA conducted a three-month coordinated planning effort resulting in Capitol Area master planning studies for office and parking development, and housing and retail development. These studies assessed alternative development opportunities, consistent with existing statutory objectives of the Capitol Area Plan. In addition to conceptual massing drawings for office, parking, housing, and retail development, a three dimensional massing model was also developed.

### ***Government Code Section 11011.21 (Senate Bill 1770 [Johnston] [Ch. 193, Stats. of 1996])***

Based on the master planning studies, this legislation directs the DGS to update the Capitol Area Plan, prepare an Environmental Impact Report (EIR), develop a Comprehensive Facilities Plan for the East End, and update the Sacramento Regional Facilities Plan.

### ***1997 Capitol Area Plan – July 1997***

After numerous community presentations and a public hearing, the DGS approved the 1997 Capitol Area Plan and certified the EIR. Additional legislation, which is significant to the implementation of the Capitol Area Plan, was enacted after the approval of the update. This includes the following:

### ***Government Code Section 8169.5 (Senate Bill 1270 [Johnston] [Ch. 761, Stats. of 1997])***

Authorizes the development of approximately 1.47 million gross square feet (GSF) or approximately 1.13 million NSF of office space in the East End area to consolidate headquarters operations of the Departments of Education, Health Services, and General Services.

**Capitol Area Planning Background  
1995 - 2002**

**Government Code Section 8169 (Assembly Bill 666 [Ortiz] [Ch. 262, Stats. of 1997])**

Provides authority to the Director of the DGS to sell state-owned land in the Capitol Area to CADA to stimulate timely development to meet the goals set forth in the 1997 update of the Capitol Area Plan.

**Government Code Sections 13332.19 and 14661 (Senate Bill 776 [Johannessen] [Ch. 252, Stats. of 1998])**

Authorizes the Director of the DGS, when authorized by the Legislature, to use the design-build procurement method for a specific project.

**Government Code Section 8169.5 (Assembly Bill 883 [Committee on Rules] [Ch. 625, Stats. of 1999])**

Requires the DGS, if it proceeds to acquire the East End Complex facilities on a design-build basis, to provide the Legislature, beginning on July 1, 1999, and every three months thereafter, with a status report on the design-build approach and a final report when the facilities are completed. The legislation also provides that project costs for these facilities may include payments for actual moving and related expenses for the Francis House in Sacramento in an amount that may not exceed \$120,000.

**Government Code Section 8169.6 (Senate Bill 809 [Ortiz] [Ch. 672, Stats. of 2001])**

Authorizes the development of approximately 1.4 million GSF of office space in the west end of the Capitol Area on Blocks 203 and 204 with associated parking to be constructed on Block 266. The project cost shall include the cost to rehabilitate the Heilbron House and may include the cost of its relocation.

**Government Code Sections 8182.5, 8193.1, 8193.2, 8194, and amendments to Sections 8160.1, 8180, 8183, 8191 (Senate Bill 1460 [Ortiz] [Ch. 468, Stats. of 2002])**

Enlarges the Capitol Area and the redevelopment project area of CADA to include the R Street Area.

The 1997 Capitol Area Plan maintains and advances the nine objectives established by statute in 1977. The Plan envisions development of a specific program for locating state offices, parking facilities, commercial, and residential developments, and other improvements on state-owned land surrounding the Capitol. The Plan contains nine specific statutory objectives that set the tone and the focus for the future of the Capitol Area. These nine objectives relate to the following elements:

- Land Use
- State Offices
- Housing
- Transportation and Parking
- Open Space and Public Amenities
- Development of the Community
- Energy Conservation
- Relationship of the State to Local Governments
- Administration of the Plan

A set of planning principles presented in the 1997 Capitol Area Plan outlines the planning direction to implement the objectives. A more specific series of action items identify recommended actions to carry out the Plan's objectives and principles and are contained in the 1997 Capitol Area Plan Implementation Program.

The format of this Progress Report has been designed to correlate with the action items as they are listed in the 1997 Capitol Area Plan Implementation Program. These action items set various time frames, ranging from one to five years, or on an ongoing basis to address specific Capitol Area Plan issues. To provide continuity, it is intended that each year's Progress Report will provide the status of each action item as set forth in the Implementation Program.

The Sacramento Regional Facilities Plan determines overall state office needs in the region, including the Capitol Area; therefore, this Progress Report will not report on the status of specific state office facility priorities. The latest Sacramento Regional Facilities Plan was developed in 1997. An update was published in December 2001. The next full Regional Facilities Plan is scheduled to commence during fiscal year 2002/2003.

## 2. LAND USE

### Objective

**To establish patterns of land use in the Capitol Area which are responsive to the goals of the Capitol Area Plan, which provide for flexibility in meeting future state needs, and which protect the state's long-term interest without inhibiting the development process.**

### Principles

- Use the Capitol Area Plan as the official master plan for land use and development on state-owned land in the Capitol Area, and a flexible guide for development.
- Develop the Capitol Area as a vibrant mixed-use neighborhood of office, residential and supporting commercial uses; and as an integral part of the downtown Sacramento community. Maintain a balance of uses and activities in the Capitol Area.
- Consider transit accessibility, protection of the State Capitol's prominence, and linkage to surrounding neighborhoods in the location, intensity, and design of development.
- Provide for development of residential uses, with a variety of housing types, including ownership and rental opportunities.
- Allow the DGS the flexibility to either maintain state ownership of land, or lease or sell property to more successfully implement the Capitol Area Plan objectives and manage state assets efficiently.
- Work with local agencies to ensure that local plans for use of non-state-owned land within the boundaries of the Capitol Area are compatible with the Capitol Area Plan.
- Retain the opportunity to locate the Governor's Residence within the Capitol Area.

## Status of Action Item

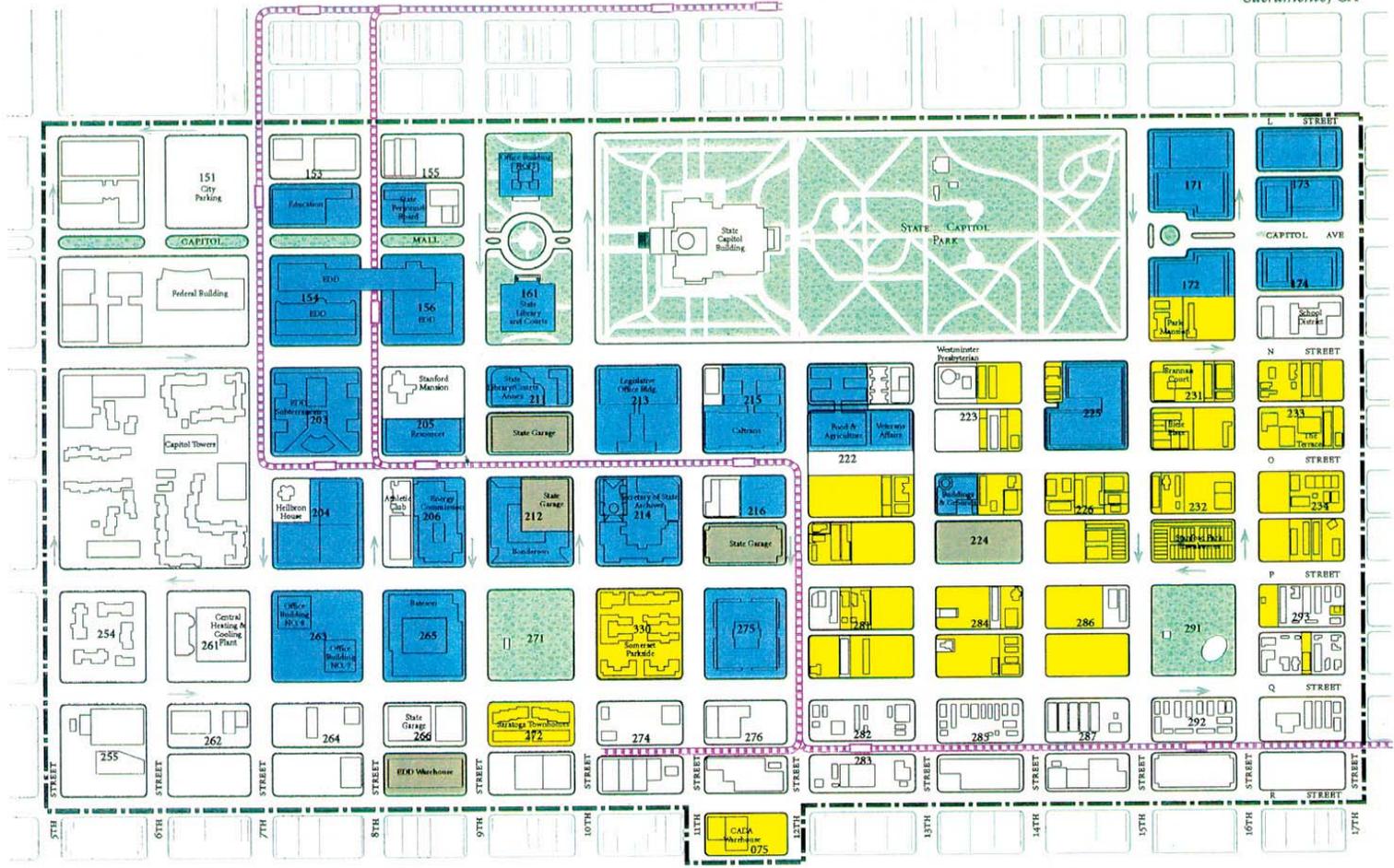
### **A. Review proposed development on individual sites for consistency with Capitol Area Plan land use designations. Consult and review with the Capitol Area Committee and Technical Advisory Committee on consistency.**

Under the terms of Government Code Section 8160 et seq., the primary responsibility for this action item and for the overall administration of the Capitol Area Plan is vested in the DGS and its Director. The DGS staff has been working with the staff of CADA to achieve a vibrant mixed-use community that will serve as an integral part of downtown Sacramento's landscape. In this regard, the DGS concentrates upon state office and associated parking development and CADA concentrates upon the residential and commercial aspects of the Plan. With the 1997 update of the Capitol Area Plan, the state is committed to maintaining a broad land use policy that includes both flexibility and stability for the development process. The map on page 7 contains the land use diagram illustrating the land use pattern on state-owned land that will occur with the Plan implementation. The office, housing, parking, and open space designations remain as approved in the 1997 Capitol Area Plan.

On September 11, 2002, Governor Davis signed Senate Bill 1460 (Ortiz) (Ch. 468, Stats. of 2002), which enlarges the Capitol Area by extending the southern boundary of the Capitol Area one block south to S Street and two blocks east to the railroad right-of-way between 19<sup>th</sup> and 20<sup>th</sup> Streets, and between Q and S Streets. Expansion of CADA's redevelopment project area will accelerate redevelopment efforts along the southern border of the Capitol Area between 10<sup>th</sup> and 19<sup>th</sup> Streets. CADA will prepare a redevelopment plan for the R Street area that furthers the objectives of the Capitol Area Plan. The map on page 8 shows the boundary of the enlarged Capitol Area. Land use designations of the Capitol Area Plan will not be affected by the expansion of the Capitol Area because no state-owned land lies within the added area.

The Capitol Area Plan Progress Report for 2000 included information on the activities of the Governor's Permanent Residence Commission, which met between November 1999 and July 2000. The Commission was created by Senate Bill 1091 (Ortiz) (Ch. 732, Stats. of 1999) to provide the Governor and the Legislature with recommendations for the location and construction

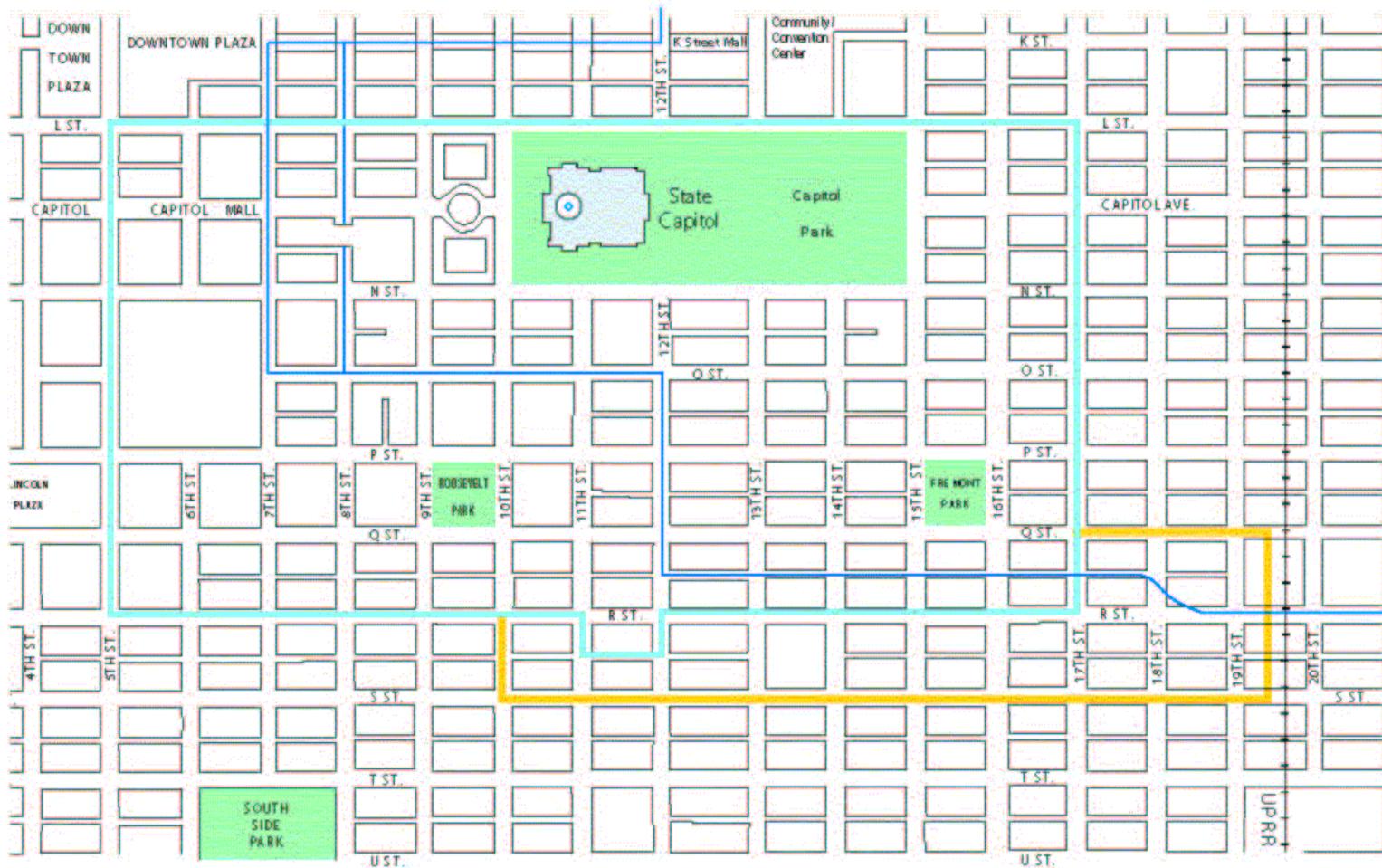
CAPITOL AREA PLAN  
Sacramento, CA



- Office
- Residential
- Parking
- Private ownership or other existing use
- Parks and Open Space



Land Use Diagram



- Year 2002 Capitol Area Boundary
- Expanded Boundary per SB 1460 (Ch. 468, Stats of 2002)
- Light Rail



Expanded Capitol Area Boundary

of a suitable and permanent residence for future Governors and first families of California. The Commission recommended the following two sites on state-owned land in the Capitol Area for further consideration by the Legislature:

- Legislative Office Building (LOB) site - Block 213 between 10<sup>th</sup>/11<sup>th</sup> Streets and N/O Streets.
- Employment Development Department Headquarters site - Block 156 between 8<sup>th</sup>/9<sup>th</sup> Streets and Capitol Mall and N Street.

The Commission's existence ended on June 30, 2000, per the enabling legislation. Development of a permanent residence on either of these sites could have an effect on land use in the Capitol Area, however, no further action has been taken by the Legislature regarding the Commission's findings.

### 3. STATE OFFICES

#### Objective

**To provide offices and related services to meet present and future space requirements for the State of California near the State Capitol and in the context of metropolitan Sacramento, in the most cost effective manner.**

#### Principles

- Use the Capitol Area Plan as the master plan for state facility development on state-owned land in the Capitol Area.
- Identify and protect opportunity sites for development of state offices in the Capitol Area.
- Ensure that building massing for office development enhances the Capitol Area's urban character, respects and maintains the State Capitol Building and Capitol Park as the focus of the Capitol Area, and provides adequate transition to the surrounding neighborhoods.
- Use the state's Regional Facilities Plan for Sacramento to determine overall state office needs in the Capitol Area and central Sacramento.
- Consolidate agencies for which proximity to the State Capitol and other facilities and activities in the Capitol Area is appropriate.
- Intensify office space use on underutilized sites or in aging state facilities through renovation of existing buildings or through redevelopment.

## Status of Action Items

### A. Maintain the identified program for office development and building massing.

The DGS continues to work within the context of the 1997 Capitol Area Plan for the planning and development of state office space in the Capitol Area. This official master plan identifies state-owned land designated for state office development on eight separate blocks within the Capitol Area as shown on page 12. These sites are projected for the development of a total of approximately 2.82 million GSF of new office space. Construction of approximately 1.3 million NSF is near full completion on five blocks in the East End Complex area including Blocks 171-174 (15<sup>th</sup>/17<sup>th</sup> Streets, L Street to alley between Capitol Avenue and N Street) and Block 225 (14<sup>th</sup>/15<sup>th</sup> and N/O Streets). The buildings on Blocks 171 - 174 are scheduled for completion in April 2003. The building on Block 225 was completed in July 2002. The remaining 1.35 million GSF is projected for future development on Block 204 (7<sup>th</sup>/8<sup>th</sup> and P/Q Streets), Block 213 (10<sup>th</sup>/11<sup>th</sup> and N/O Streets), and Block 275 (11<sup>th</sup>/12<sup>th</sup> and P/Q Streets). Additionally, the south half of Block 266 (8<sup>th</sup>/9<sup>th</sup> and Q/R Streets) is designated for a parking garage. The office opportunity sites are shown on the map on the following page. The scope of development provided for in the Capitol Area Plan is shown in the table below.

***Capitol Area Plan Office and Parking Opportunity Sites***

	<b>BLOCK 204</b>	<b>BLOCK 213</b>	<b>BLOCK 275</b>	<b>BLOCK 266</b>	<b>TOTAL</b>
SF of Site Area	85,400	51,200	106,400	52,300	295,300
GSF of Office Space	628,000	268,000	454,600		1,350,600
NSF of Office Space	471,000	201,000	340,950		1,012,950
Floor Area Ratio	7.4:1	5.2:1	4.3:1		
Stories	18	8	6		
Parking Standard	1.1 per 1,000 GSF	1.1 per 1,000 GSF	1.1 per 1,000 GSF		
Parking to be Provided	355 spaces	350 spaces	501 spaces	720 spaces	1,926 spaces
Property Owner	DGS, EDD, Private Owner	Legislature	DGS, Caltrans, Private Owner	DGS, Private Owner	



- Existing Office
- Future Office (includes on-site parking)
- Existing Garage
- Future Garage
- Under Construction/Recently Completed
- Capitol Area Boundary
- Light Rail

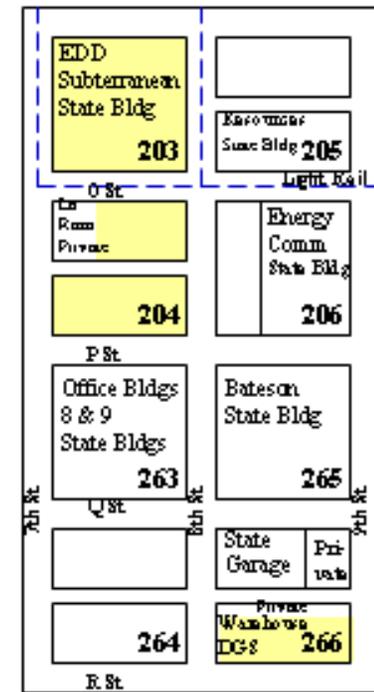


### Office Development Sites on State-Owned Land

In June 2001, the DGS completed a facilities study to analyze the feasibility of developing 1.3 million GSF (1.0 million NSF) of state office space at the west end of the Capitol Area on a two block site that includes Block 204 and the adjacent Block 203 to the north. This DGS-owned Block 203, designated office by the Capitol Area Plan, is currently improved with a one-story, below-grade office building, often referred to as the subterranean building. The current tenant in this building is the Employment Development Department. In addition, an 800 space garage would be constructed on the south half of Block 266 (8<sup>th</sup>/9<sup>th</sup> and Q/R Streets) to provide additional parking to serve these office facilities. On October 10, 2001, Governor Davis signed Senate Bill 809 (Ortiz) (Ch. 672, Stats. of 2001), which authorizes the development of these two office buildings and associated parking. This \$391 million project expands the existing state office campus in the Capitol Area with the opportunity to construct a signature building complex in the west end. It will provide additional consolidation opportunities for agencies requiring a downtown location, advancing the implementation strategies of the 1997 Sacramento Regional Facilities Plan and the Capitol Area Plan.

The West End Project will be developed as a design/build project. Once funding for preliminary plans is approved by the Public Works Board, the DGS will hire a Construction Manager and Master Architect team for the project. Overall project completion will take approximately 60 months from funding approval.

The Block 204 office and Block 266 parking development projects were included in the July 1997 Capitol Area Plan and certified Environmental Impact Report. Block 204 is presently improved with paved parking and the La Raza Building (Heilbron House). The state's 2000/2001 Budget Item 3790-302-001 included an appropriation of \$1.2 million for the Department of Parks and Recreation to purchase and rehabilitate the Heilbron House, which would then house the State Office of Historic Preservation in the Department of Parks and Recreation. The purchase transaction has been completed. Senate Bill 809 provides that the cost for the West End Project shall include the cost of rehabilitating and may include the cost of relocating the Heilbron House. The south half of Block 266 is now improved with the old Employment Development Warehouse that was declared surplus and purchased by the DGS along with some private paved parking. Since no housing is located on any of the project blocks, housing will not be displaced by the project. The 1997 Plan did not study the opportunity to reuse underutilized state property like Block 203; however, it does suggest the possibility of examining underutilized



*West End Project Site*

Capitol Area sites, including Block 203, for redevelopment and renovation potential. Additional environmental review will be necessary prior to initiating the West End Project, which has the following development scope.

	<b>BLOCK 203</b>	<b>BLOCK 204</b>	<b>BLOCK 266</b>	<b>TOTAL</b>
GSF of Office Space	450,000	890,000		1,340,000
NSF of Office Space	336,000	664,000		1,000,000
Stories	11	22	7	
Parking Provided	270 spaces	270 spaces	800 spaces	1,340 spaces

Of the remaining two office opportunity sites, the south half of Block 213 is the site of the former Legislative Office Building Annex that was demolished in fall 1999 because the cost to seismically upgrade the structure could not be justified. Since the demolition, the half block has been paved and landscaped as a surface parking lot for legislative staff employees. Future development on this site would be under the direction and ownership of the State Legislature. Under the Capitol Area Plan, the site has been projected for the development of 268,000 GSF of office space; however, no specific development project has been proposed or authorized.

Also, no project has been authorized yet for the remaining office opportunity site on Block 275. The 1997 Sacramento Regional Facilities Plan recommends this site be used to meet the consolidatable office space needs for the Department of Transportation. Per the 1997 Capitol Area Plan EIR, the site has capacity for 454,600 GSF of office development. The 2002/2003 Budget includes \$600,000 for the DGS to develop the first phase of a long-term Headquarters Consolidation Master Plan for the Department of Transportation. The first phase will include an infrastructure assessment of the existing headquarters building at 1120 N Street and an economic analysis for the potential development of an office building on Block 275.

The Joe Serna, Jr. CalEPA Headquarters Building, at 10<sup>th</sup> and I Streets in downtown Sacramento, was occupied in late 2000 by state employees from various leased and state-owned locations. The state leases the 950,000 GSF (760,000 NSF) building from the City of Sacramento, which houses 3,500 employees. At the end of the long-term lease, the state has the option of purchasing the entire property for the sum of one dollar.



*CalEPA Building  
1001 I Street*

Several state-owned office buildings will be fully or partially vacated in the Capitol Area as a result of the completion of the Joe Serna, Jr. CalEPA Headquarters Building and with the completion of the East End Complex. This will provide an opportunity to examine the potential for rehabilitation and renovation of these vacated buildings, some of which are as much as 50 years old. The 2002/2003 Budget provides funding for the renovation of the following buildings affected by the consolidated projects:

- Bonderson Building, 901 P Street, 102,000 NSF  
\$23 million renovation project scheduled for completion third quarter 2005
- Office Building 10 (former Education Building), 721 Capitol Mall, 110,000 NSF  
\$17 million renovation project scheduled for completion January 2005
- Office Building 8, 714 P Street, 199,000 NSF  
\$56 million renovation project scheduled for completion February 2006
- Office Building 9, 744 P Street, 208,000 NSF  
\$56.2 million renovation project scheduled to start after the completion of Office Building 8 and to be completed November 2007

The budget also includes \$20.7 million for renovation of the 71,000 NSF Food and Agriculture Building at 1220 N Street. Project completion is scheduled for May 2004.

The development authorization of the West End Project offers a potential opportunity for the renovation and backfill of the 490,000 NSF Resources Building located at 1416 Ninth Street. The Capitol Area West End Facilities Study examines the feasibility of moving the departments located in the Resources Building from 1416 Ninth Street and from their existing dispersed leases to the proposed West End Project. This scenario would essentially consolidate the Resources Agency and will allow for a needed full renovation of the Resources Building in a more cost effective and efficient single phase. There are a number of state agencies currently in leased space with downtown location requirements that could backfill the Resources Building after renovation. Additional information concerning the changes in office space availability and the backfill program is included in the 2001 Sacramento Regional Facilities Plan Update.



*Education Building  
721 Capitol Mall*



*Resources Building  
1416 9<sup>th</sup> Street*

Work has been completed to repair the damage to the State Capitol caused when a tractor trailer truck crashed into the South Portico in January 2001. The collision and subsequent fire damaged areas including the Senate Chamber, members' offices, and public rooms on the first floor. The basement suffered from water intrusion. All interior spaces had been fully repaired and reopened by the end of 2001, but there was still restoration work necessary to the granite façade. This work was completed in summer 2002. The replacement granite was retrieved from the banks of the American River near Folsom Prison where it had been used as bank riprap. Total cost for the repair and restoration efforts is estimated to be approximately \$16.5 million. In addition to the repair project, the exterior of the State Capitol was painted in 2002 for the first time since its restoration 20 years ago. All work is completed with the exception of restorative work on several historic wooden doors.

The appearance of state office buildings on Capitol Mall was improved with the painting of three DGS-owned buildings, completed at the end of 2000 at a cost of approximately \$970,000. The buildings, housing the Employment Development Department at 722/800 Capitol Mall, the Department of Education at 721 Capitol Mall, and the State Personnel Board at 801 Capitol Mall, were treated to a new color scheme that coordinates and complements the three buildings. The repainting followed a \$13.7 million seismic upgrade to the Employment Development office complex.

An emergency repair project is currently underway in the Bateson Building at 1600 Ninth Street to repair damage to the atrium roof structure. Temporary weatherproofing was completed in September 2001 to prevent rain from entering the building through the atrium roof and to stop additional water damage to the glued laminate beams supporting the atrium roof structure. Construction of the atrium roof replacement began in February 2002 and should be completed in December 2002.



*State Capitol South Portico  
Repaired*



*Construction Crane at  
Bateson Building  
1600 Ninth Street*

**B. Maintain the East End site office development priorities articulated in Chapter 193, Statutes of 1996:**

- **Office facilities on Blocks 171-174 and 225; and**
- **Supporting parking on Block 224.**

On September 4, 2002, the state dedicated the first office building completed as part of the East End Complex, which was authorized by Senate Bill 1270 (Ch. 761, Stats. of 1997) (Johnston) in October 1997. The legislation enabled the development of approximately 1.6 million GSF or 1.3 million NSF of office space with below-grade parking and a 245,400 square feet (SF) parking structure, a child care facility, and approximately 18,800 SF of retail space on five blocks and a separate 250,000 GSF parking garage on one block, as shown on the project map on page 18. The map on page 19 shows all state office buildings in downtown Sacramento.



*East End Complex  
Blocks 171 and 173 Looking East from  
Capitol Park*

Occupancy of the Department of Education headquarters on Block 225 began in summer 2002. It is now fully occupied with 1,100 employees. As of fall 2002, the construction project on Blocks 171-174 was 92 percent complete, with completion expected in spring 2003. The garage on this site was completed in October 2001 and is being used temporarily for storage/staging and parking for trades people.

The total employee occupancy in the offices is estimated to be 6,000 persons. The five office buildings range in heights from three to seven stories. Construction and other costs of the office buildings on Blocks 171-174 and Block 225 is \$380,000,000. The total cost of the garage completed on Block 224 was \$11,086,000. The 6,500 SF of commercial space on the first floor of the Block 224 garage was leased for CADA's administrative offices in February 2000.

Johnson Fain Partners of Los Angeles was selected in March 1998 as the master architect to develop preliminary plans, design criteria, and a bid package for the entire East End Complex. A contract was awarded in early December 1999 to Clark/Gruen Design/Build, Inc. for the office structures to be built on Blocks 171-174 and to Hensel Phelps/Fentress Bradburn for the office structure to be built on Block 225. The design/build agreements were signed and Notices to Proceed were issued in February 2000.

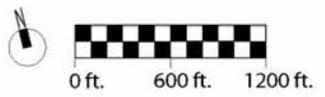


*Education Headquarters Building  
Block 225*

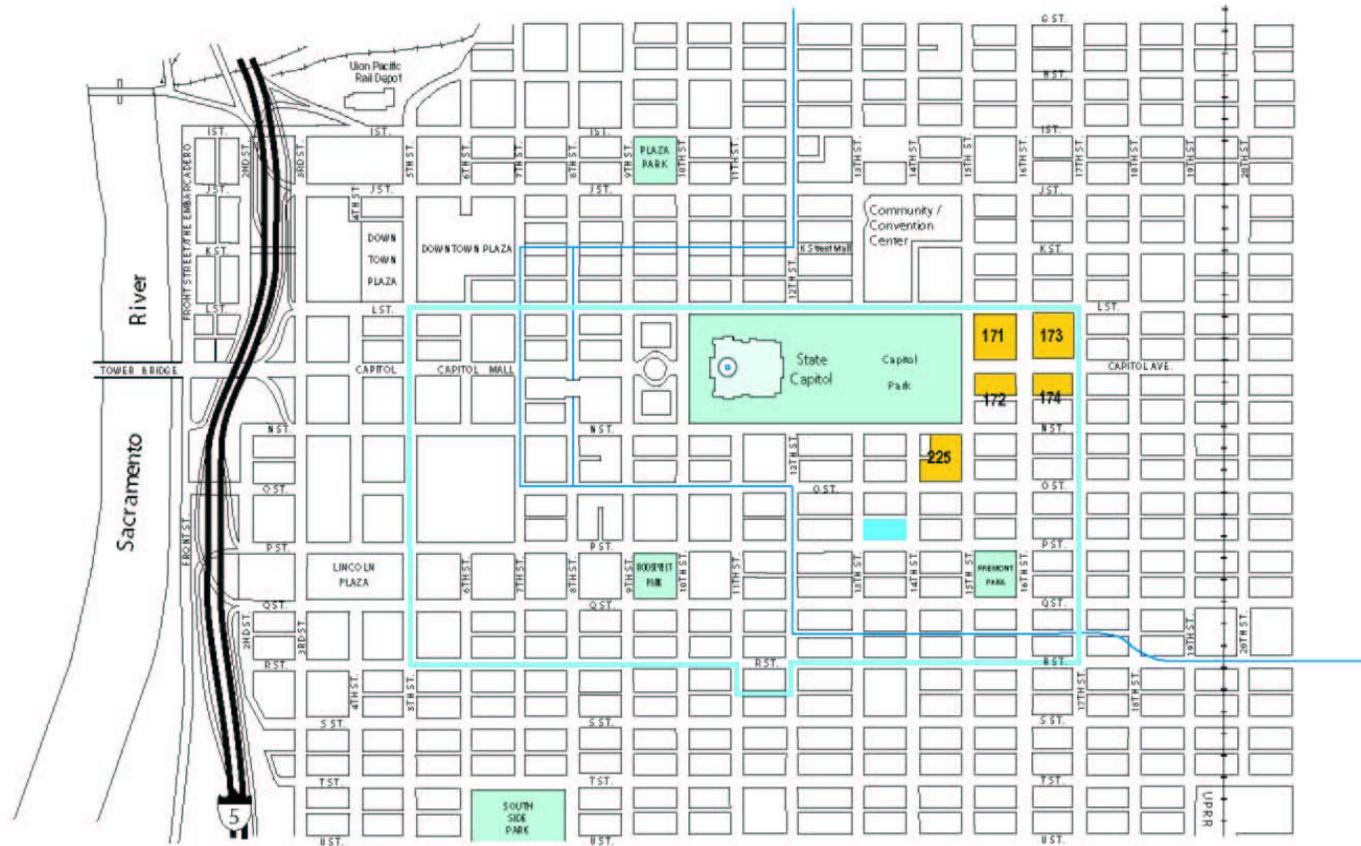


Map No.	Building
1	BOE HQ Building 450 N Street
2	Office Building B 714 P Street
3	Office Building 9 744 P Street
4	EDD Solar Building and Annex 751 N Street
5	Education HQ Bldg 721 Capitol Mall
6	State Personnel Board Building 801 Capitol Mall
7	EDD HQ Building 800 Capitol Mall
8	Resources Building 1415 Ninth Street
9	Energy Commission Building 1516 Ninth Street
10	Batson Building 1600 Ninth Street
11	Jesse Unruh Office Building 915 Capitol Mall
12	Stanley Mosk Library & Courts Building 914 Capitol Mall
13	Library Annex 900 Ninth Street
14	Blue Anchor Building 1400 Tenth Street
15	Bonderson Building 901 P Street
16	Cal-EPA Building 1001 I Street
17	State Capitol 1000 L Street
18	Legislative Office Building 1020 N Street
19	Secretary of St./Archives Bldg. 1500 Eleventh Street
20	Transportation HQ Bldg 1120 N Street
21	Food & Agriculture Building 1220 N Street
22	Food & Agriculture Annex 1215 O Street
23	Veterans Affairs Building 1227 O Street
24	CADA Building 1304 O Street
25	Dept of Justice HQ Building 1300 I Street
26	Lincoln Plaza (CALPERS HQ) 400 P Street

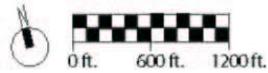
- State Office Buildings
- State Garage
- Under Construction/Recently Completed
- Capitol Area Plan Boundary
- Light Rail



### State Office Buildings in Downtown Sacramento



- Under Construction/Recently Completed
- Construction Complete
- Capitol Area Boundary
- Light Rail



Location Map  
East End Complex

The only improvements removed on Block 225 consisted of parking lot paving. However, more extensive improvements were removed from Block 171-174 and Block 224. These included two motels, 11 older commercial or office buildings, three apartment structures, and several paved parking lots. One of the apartment buildings, the older art deco eight-unit apartment structure located at 1311 15<sup>th</sup> Street, was moved from Block 172, relocated to the southwest corner of 17<sup>th</sup> and N Streets, and renovated. An additional ten apartment units were constructed on the site. The move was funded by the East End mitigation funds. In early July 2000, ten 80-year-old California Fan Palms were removed from Capitol Avenue within the project to new locations around the perimeter of Capitol Park.

The Department of Education will also occupy the office building on Block 172. The Department of Health Services will occupy the office buildings on Blocks 171, 173, and 174. The DGS had been intended to be a third tenant in this project. However, due to unexpected staff growth by both Health Services and Education, the DGS was removed as a tenant in late 2000. The DGS has consolidated approximately 320,000 NSF of its operations in a long-term lease of the Ziggurat Building in West Sacramento. Occupancy of the building was completed in December 2001.

This East End Complex project will advance the state's asset management goals and office consolidation initiatives and responds to the recommendations contained in the 1995 Study for the Capitol Area developed by the Urban Land Institute Panel. Planning for this project has involved the Capitol Area Committee, the Technical Advisory Committee, local government officials and agencies, state government representatives, community and neighborhood organizations, and private sector representatives. The Capitol Area Committee conducted four public forums during 1998 to seek public input on the East End Complex preliminary design, massing, and site plans.

Discussion on sustainable design features of the East End Complex project is contained in Chapter 8, Sustainable Design and Energy Conservation.



*Health Services Building  
Block 171*

**C. Identify and provide appropriate amounts of retail space in office buildings where development programs include ground floor commercial.**

The 1997 Capitol Area Plan identifies opportunities for the development of ground floor retail and commercial uses in both state office buildings and parking structures. The DGS works closely with CADA to integrate these commercial services into the fabric of the Capitol Area with the goal to broaden the use of this type of space to time periods beyond state working hours.

The East End Complex provides an opportunity to include almost 19,000 SF of ground floor commercial space in a large state office complex. Of this total area, approximately 12,700 SF will be located in the Blocks 171-174 buildings in the vicinity of 17<sup>th</sup> Street and Capitol Avenue. An additional 6,400 SF of ground floor commercial space is located near the northeast corner of 14<sup>th</sup> and O Streets in the office structure located on Block 225. Retail space in this block will complement the existing 14<sup>th</sup> and O Streets neighborhood commercial center. The new parking garage on the south half of Block 224 also has 6,500 SF of commercial space fronting 14<sup>th</sup> Street that is occupied by CADA's administrative offices. A proposal for CADA to master lease the 6,400 SF of commercial space on Block 225 and 6,000 SF of commercial space on Blocks 171-174 is presently under consideration by the DGS and the State Public Works Board. The remaining commercial space is expected to be managed through the Business Enterprise Program administered by the Department of Rehabilitation.

The West End Project could provide retail development opportunities in the R Street Corridor, if ground floor retail is incorporated into the garage project on Block 266.



*Block 225  
14<sup>th</sup> and O Streets Retail*

## 4. HOUSING

### Objective

**To foster housing within the Capitol Area meeting a wide range of income levels and restoring the area to a population consistent with its urban surroundings.**

### Principles

- Enhance the overall residential environment in the Capitol Area; foster development of neighborhood identity and residential support services.
- Provide for a variety of housing and building types to facilitate development of the Capitol Area as a mixed-income community, and expand ownership housing opportunities.
- Meet the housing needs of individuals and families with a wide range of socioeconomic characteristics, consistent with consideration of existing and potential market conditions.
- Balance retention and renovation of existing housing units, with redevelopment of housing sites. Build new housing where existing buildings are either outdated to the extent that renovation would be economically infeasible, or are functionally obsolete relative to market expectations; or where it is desirable to create larger or more marketable development sites.
- Maintain the supply of affordable housing in the Capitol Area in accordance with requirements of Government Code Section 8193.
- Maintain a program goal to achieve a population of 3,500 in privately and publicly-owned housing in the Capitol Area over the plan horizon.

## Status of Action Items

**A. Implement the housing development program, with housing unit targets and densities as described in the 1997 Capitol Area Plan, sufficient to achieve a total Capitol Area population of 3,500 residents.**

Since its inception in 1978 as a joint powers agency, CADA has had the responsibility for planning, implementing, and managing the housing and related retail/commercial elements in the Capitol Area. CADA was created by a joint powers agreement (pursuant to Government Code Section 8169.4) between the State of California and the City of Sacramento. A volunteer five-member board of directors governs the agency. The State of California and the City of Sacramento each appoint two members to the board of directors. These four directors then select the fifth director. The members as of November 2002 are listed in Appendix B. Two new members were appointed in fall 2002. The DGS Interim Director Clothilde Hewlett appointed Aubry Stone to the position formerly held by Weyland Fat, whose term ended. The City of Sacramento City Council appointed William Ishmael to the position formerly held by Christy Anderson and Robert Chase to the position formerly held by Marc Brown, whose term ended. The daily operation of the agency is under the direction of its executive director, John Dangberg.



*CADA Offices  
1522 14<sup>th</sup> Street*

CADA is responsible for managing the housing development for a range of income categories within the Capitol Area, in response to market conditions and priorities as they develop. The statutorily stated goal is to create a viable community of some 3,500 plus residents in both public and privately owned housing and to ensure the availability of retail/commercial facilities to support the residents, employees, and visitors who frequent the Capitol Area. From an organizational standpoint, CADA has four service units. These are: Property Management, Asset Management, Development, and Administrative Services. In terms of personnel, CADA has five executive staff members, 20 administrative staff members, an eight member maintenance staff, and 11 resident service managers. CADA develops and manages its own budget. While it is a joint powers authority between the city and the state, CADA's main revenue sources come from residential and commercial rents and tax increment revenue from properties within its redevelopment project area. CADA does not rely on the city or the state for any direct operational financial support.

Within the scope of its property management duties, CADA currently manages 752 apartment units in 49 buildings, most of which are state-owned and a few are CADA-owned structures on state-owned property. In addition, CADA manages 31 retail/commercial properties, one storage facility, and approximately 634 parking spaces throughout the Capitol Area. Appendix C contains a listing of CADA managed residential properties and Appendix D contains a listing of CADA managed commercial/retail properties.

During its 24 years of service as a joint powers authority, CADA has overseen over \$70 million in public and private commercial and residential developments on state-owned land in the Capitol Area, including a total of 665 new residential infill units as shown in Appendix E. These new units include 462 market rate units, two moderate income units, 163 low income housing units, and 38 hotel units. The Capitol Vue Motel, which was renovated in 2000 and renamed The Inn Off Capitol Park, includes these 38 units. These developments, except the Capitol Park Homes, the Fremont Building, and 1500 Q Street, were constructed under the terms of 60-year land leases from the state. Under the terms of Senate Bill 1770 (Johnston) (Ch. 198, Stats. of 1996), the state has since sold the underlying fee interest in the land to the homeowners associations of three condominium projects; namely Somerset Parkside (north two-thirds of the block bound by 10<sup>th</sup>/11<sup>th</sup>, P/Q Streets), Saratoga Townhomes (north half of the block bound by 9<sup>th</sup>/10<sup>th</sup>, Q/R Streets), and Stanford Park Townhomes (south-east quarter of the block bound by 14<sup>th</sup>/15<sup>th</sup>, O/P Streets and south half of block bound by 15<sup>th</sup>/16<sup>th</sup>, O/P Streets).

Assembly Bill 666 (Ortiz) (Ch. 262, Stats. of 1997), amending Section 8169 of the California Government Code, created a major change in the utilization of state-owned land in the Capitol Area. This bill authorizes the Director of the DGS to sell real property under the jurisdiction of the DGS to CADA who, in turn, will sell the property to qualified developers for development of residential and/or neighborhood commercial-retail uses in the Capitol Area. The ability to provide fee title to such property will enhance the development opportunities within the Capitol Area including the ability to develop more ownership housing. Since enactment of this legislation, the following land sales have occurred:

- Fremont Building site, 16<sup>th</sup> and P Streets;
- Governors Terrace Apartment site, 14<sup>th</sup> and P Streets; and
- Capitol Park Homes site, 12<sup>th</sup>/14<sup>th</sup> and P/Q Streets.



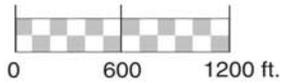
*The Inn Off Capitol Park  
1530 N Street*



*Governors Terrace  
14<sup>th</sup> and P Streets*



- Housing Development Site
- Under Construction
- Capitol Area Plan Boundary
- Light Rail



## Housing Development Sites on State-owned Land

The map on page 25 shows sites currently designated for housing development in the Capitol Area. Appendix F outlines CADA's development plans for the period 2003 through 2007. Appendix F identifies a potential housing increase of approximately 395 - 425 units to be developed over the next five year period ending in 2007.

Appendix G outlines CADA's development plans for the 2008 to 2012 time period. The plans project approximately 175 to 245 housing units in the medium to high density categories for completion. These developments will require older buildings to be demolished to make way for new construction. It is expected that many of the units projected in the 2008 to 2012 time period will take advantage of the provisions of Assembly Bill 666 (Ortiz) (Ch. 262, Stats. of 1997) and the developers and/or subsequent home buyers will own the underlying land as well as the improvements at project completion.

During 2001 and 2002, CADA completed three development projects containing a total of 87 apartment units, 12,000 SF of first floor commercial space (discussed further in Chapter 7), and 64 detached ownership homes. A brief discussion of these projects is as follows:

**Fremont Building**

Construction on this residential and commercial mixed-use project on Block 234 at the northeast corner of 16<sup>th</sup> and P Streets was completed in June 2001. The project site contains 0.89 acre or approximately 38,800 SF. This land was sold to the developer (Shasta/Downtown Sacramento Mixed-Used Development, LLC) under the terms of Assembly Bill 666 (Ortiz) (Ch. 262, Stats. of 1997) on September 13, 1999. The 12,000 SF of commercial space on the ground floor is occupied by Starbucks, Supercuts, Togo's/Baskin Robbins, Nishiki Sushi Bar, and the Hukilau Restaurant. There are a total of 69 apartments in the building. Eleven units are provided at low-income rates and 58 units are at market rates. The unit density is approximately 77 dwelling units per acre. The Sacramento Housing and Redevelopment Agency (SHRA) provided public financing assistance for this project.



*Fremont Building  
16<sup>th</sup> and P Streets*

**Seventeenth and N Streets**

This property contains a site area of 0.29 acre or 12,800 SF. It is located at the southwest corner of 17<sup>th</sup> and N Streets on Block 233 and includes the art deco apartment building that was moved from 1311 15<sup>th</sup> Street (an eight-unit structure within the East End Complex). An additional ten new units have been constructed



*Relocated Art Deco Apartments  
17<sup>th</sup> and N Streets*

on the rear of the site. This provided a total of ten new and eight refurbished units for use in the Capitol Area. All of the 18 units are rented at market rates. CADA provided a grant from the East End Mitigation Funds received from the State of California to help cover the cost of the move and rehabilitation of the older art deco structure. The unit density is approximately 62 dwelling units per acre. In this project, the land is leased under a long-term lease with an option to purchase. The project developers are the Seventeenth and N Street Partners. The project was completed in February 2001.

### **Capitol Park Homes**

This development is located close to the center of the Capitol Area on Blocks 281 and 284 on a 3.45 acre or 150,282 SF site located in the two blocks between P/Q and 12<sup>th</sup>/14<sup>th</sup> Streets. Construction is nearly complete for 64 for-sale, detached single family homes ranging from 1,306 SF to 2,431 SF. The overall unit density is approximately 19 dwelling units per acre. This land was sold to the developer (Shasta/Downtown Sacramento Single Family Development, LLC) under the terms of Assembly Bill 666 (Ortiz) (Ch. 262, Stats. of 1997) in June 2000.

In order to accommodate this development, two existing state-owned apartment structures were moved to different locations within the two-block area. The four-unit building located at 1201 Q Street was moved a little more than a block away to 1321 Q Street. Additionally, a 12-unit structure was moved from 1223 Q Street to 1326 P Street. These buildings have been remodeled, and are once again being operated by CADA. Ownership of these structures remains with the DGS. Additionally, two privately owned apartment structures in the project area were purchased by the developer. These buildings, located at 1215 Q Street and 1609 13<sup>th</sup> Street, were demolished in fall 2000 to make room for the new construction.

Construction on the Capitol Park Homes commenced in June 2000, and as of September 30, 2002, a total of 44 homes have been completed and are occupied. As of November 2002, only two units remain available for sale. The remaining 18 homes are anticipated to be completed by early 2003.



*Capitol Park Homes  
13<sup>th</sup> and Q Streets*

Currently, CADA has two additional projects in the planning and pre-development phase that will produce an estimated 220 residential units and ground floor commercial space. These projects are described below.

**Capitol Lofts (CADA Warehouse)**

This development project is structured around a 1920s vintage brick warehouse that has been owned by the state and leased to CADA for its maintenance operations. The property is located on the north half of Block 075 between 11<sup>th</sup>/12<sup>th</sup> and R/S Streets on a site containing 1.18 acres or 51,200 SF. The projected plans call for the development of 102 for-sale units on the property, subject to finalization of costs and funding sources. At the present time the unit density is projected at 86 dwelling units per acre. The units in the old warehouse portion will range in size from 856 to 2,650 SF.

New construction on vacant portions of the site located at 12<sup>th</sup> and R Streets and at 11<sup>th</sup> and R Streets will include live/work lofts and loft units ranging in size from 815 to 1,533 SF. The historic CADA Warehouse, a three-story brick building at the corner of 11<sup>th</sup> and R Streets, will be converted to office space with the possibility of locating retail uses at the ground floor level. As of September 2002, this project is in design development and is scheduled for approval of funding participation by the SHRA. The developer is Regis Homes of Northern California, Inc./Holliday Development. The start of construction is anticipated in late 2003 and the project is anticipated to be complete in mid 2005.



*Capitol Lofts (CADA Warehouse)*

**Fremont Mews**

The most recent CADA project involves the state-owned property within the block bounded by 14<sup>th</sup>/15<sup>th</sup> and P/Q Streets (Site 13), the current site of the Ron Mandella Community Garden and a DGS-owned/operated surface parking lot. CADA entered into an Exclusive Negotiation Agreement with the developer team of H. Williams Advisors of Portland, OR; Spinnaker Companies of Stamford, CT; and Rembold Properties of Portland, OR. Currently, the proposal includes 118 residential rental units and 19,200 SF of community garden area on the site. Construction is expected to begin in late 2003, with completion in mid-2005. In addition, CADA has acquired and is donating a 32,000 SF site to the City of Sacramento Parks Department as a part of the Garden Preservation and Replacement Plan that has been incorporated into the development of this project.

As reported in the January 2002 Capitol Area Plan Progress Report, CADA was also recently involved in two other housing projects:

### **1500 Q Street**

This privately owned property is located at the southeast corner of 15<sup>th</sup> and Q Streets on Block 292. The property contained an older, historically significant retail store building that had residential quarters on the second floor. The structure was partially destroyed by fire several years ago. In 1997, Historic Properties, LLC was formed to act as the developer for the rehabilitation of this property. The structure has two one-bedroom units upstairs and approximately 1,200 SF of retail on the ground floor currently occupied by a coffee house. In addition, four new loft residential units have been added on the rear part of the lot. CADA provided a grant of \$100,000 (funded by the State of California's East End Mitigation Funds) used toward the residential component of the project. In addition, the SHRA provided some public financing assistance for this project. The refurbished historic structure and the four townhouse units were completed in the spring of 2001.



*1500 Q Street*

### **17<sup>th</sup> Street Commons**

This property, on state-owned land on Block 234 at 17<sup>th</sup> Street and O/P Streets, was originally developed in 1983 as a limited equity cooperative on a CADA leasehold, with 25 residential units and some commercial space. In recent years, the cooperative experienced financial, operating, and membership problems. In late 1999, the CADA Board of Directors acquired the improvements and manages them as part of its apartment rental portfolio. Since the acquisition, CADA has refurbished and rehabilitated the property, with public financing assistance by the SHRA and the California Housing Finance Agency. The land is owned by the DGS and leased to CADA. The former commercial space in the project was converted to four additional apartment units. The additional units raise the total unit count to 29. A total of 12 units (41 percent) are reserved for affordable to low income households. This property is now shown on Exhibit C as a CADA managed property.

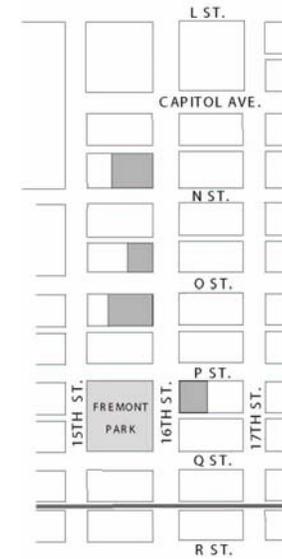


*17<sup>th</sup> Street Commons  
17<sup>th</sup> and O Streets*

**East End Gateway**

Planning for the future, the CADA Board of Directors has identified four residential/retail opportunity sites on 16<sup>th</sup> Street as the best location for CADA’s next development phase. In order to stimulate interest and provide a vision for CADA’s development goals along 16<sup>th</sup> Street, CADA expects to issue a Request for Qualifications (RFQ) in early 2003 for all four sites, known as the “East End Gateway” project. This proposed project will benefit from the foot traffic from the East End Complex, build on the momentum created by the new Fremont Building, and improve the entry image for the Capitol Area and Downtown. This addition would enhance 16<sup>th</sup> Street as a residential and mixed-use address. Completion is projected for early 2006. The conceptual development plan for the four sites, including massing schemes, is set forth in the Capitol Area Plan Implementation Program and includes the following scope:

Block 172 (northwest corner of 16 <sup>th</sup> /N Streets) (could include .17 acre parcel adjacent to the west)	.70 acre	75 units
Block 231 (northwest corner of 16 <sup>th</sup> /O Streets)	.44 acre	34 units
Block 232 (southwest corner of 16 <sup>th</sup> /O Streets)	.72 acre	56 units
Block 293 (southeast corner of 16 <sup>th</sup> /P Streets)	.44 acre	34 units



*East End Gateway Project Sites*



*East End Gateway Artist Conceptual Drawing*

### **Other Neighborhood Development Projects**

Since 1978, CADA has been involved in a number of other development projects that fall in categories that are outside their regular housing and commercial activities. A brief description of these are outlined as follows:

- In 1982, CADA and the state advanced the funds necessary to install additional streetlights throughout the Capitol Area. In this program, CADA funded installations fronting proposed housing sites and the state advanced funds for installations fronting proposed office sites.
- In 1985, CADA provided for the development of the Capital Athletic Club on state-owned land that was long-term leased from CADA at the southeast corner of 8<sup>th</sup> and O Streets.
- In 1993, CADA issued \$7.245 million in lease-revenue bonds for construction of the Building and Property Management Building on the southeast corner of 13<sup>th</sup> and O Streets.
- In 1994, CADA issued \$3.03 million in tax allocation bonds that were used to restructure its debt and to fund rehabilitation projects for many older apartment buildings under CADA's management in the Capitol Area.
- Since its inception, CADA has funded a continuous program of building code corrections, ADA compliance measures, apartment upgrading, exterior façade improvements, sidewalk repairs, and surface parking lot improvements on properties it manages throughout the Capitol Plan Area.



*Building and Property  
Management  
1304 O Street*

### **R Street Redevelopment**

In addition to specific development projects, CADA successfully led an effort that will assist in the fulfillment of the housing objectives of the Capitol Area Plan. As reported in Chapter 2, on September 4, 2002, Governor Davis signed Senate Bill 1460 (Ortiz) (Ch. 468, Stats. of 2002). This bill extends the southern boundary of the Capitol Area one block south to S Street; and two blocks east to the railroad right-of-way between 19<sup>th</sup> and 20<sup>th</sup> Streets; and between Q and S Streets. This bill requires that CADA enter into an agreement with the DGS and prepare a redevelopment plan for the R Street Area that complements the objectives of the Capitol Area Plan and establishes a time limit for CADA's activities in this area. CADA will focus on underutilized warehouses, parking lots, and vacant land as sites for mixed income housing projects. CADA's priority in implementing this plan is to develop the area's infrastructure and financing plan.

**B. Provide annual updates of implementation of the housing development program, including reference to housing and population targets in accordance with Section 8193(K) of the Government Code.**

In 2002, CADA completed 24 years of service to the state, city, and the residents of the Capitol Area neighborhoods. In November of each year, CADA releases its most recent year-end report.

**C. Ensure availability of affordable housing in compliance with Section 8193 of the Government Code.**

Government Code Section 8193 states that CADA is required to have occupied or make available 25 percent of its units at affordable rents to low income households. This 25 percent requirement applies to existing units until 600 newly constructed units are completed and initially occupied. Once 600 newly constructed units have been completed, the 25 percent requirement applies against all units developed by CADA on land leased to CADA from the DGS.

CADA bases the 25 percent requirement on the total number of units that it manages and/or has developed. The reasons for this are as follows:

- CADA has reached the threshold established in Government Code Section 8193(b) at which the 25 percent mandate must be applied against both existing and newly constructed units.
- CADA applies the 25 percent requirement to units it manages and/or develops because this is consistent with the spirit of its enabling legislation and the intent of Assembly Bill 666 (Ch. 262, Stats. of 1997).

CADA Board Resolution 00-49, which was adopted by the Board of Directors on December 15, 2000, states that CADA will meet its 25 percent obligation by directly subsidizing units, utilizing external funding sources to subsidize units it manages, and causing or assisting in the development of affordable units by third parties.

This resolution further states that CADA will consider the impact on the Authority's 25 percent obligation whenever it takes any action that affects housing stock in its Redevelopment Project Area and that it will annually present in its year end stakeholders report actions CADA has taken in the past year to assure its 25 percent obligation is met.

The breakdown of CADA managed and/or developed units within the Capitol Area, excluding the R Street Area, is as follows (as of September 2002):

	Rent Assisted Units	Market Rate Units	Total
CADA Managed Units (Existing)	172	374	546
CADA Managed Units (New)	80	126	206
CADA Developed Units (Privately Owned)	82	379	461
Total	334	879	1,213
Affordable/ Market Split	334	879	1,213
Percentage	28%	72%	100%

CADA has entered into a Memorandum of Understanding (MOU) with the Housing Authority of the City of Sacramento that commits CADA managed housing units for the use of Section 8 Voucher Holders. This MOU is beneficial to the accomplishment of both the City Housing Authority's and CADA's affordable housing programs. The assurance of a continuing housing resource in the Central City for Section 8 Voucher Holders will assist the City Housing Authority in continuing to receive federal funding allocations. The funds that CADA formerly allocated for direct subsidies is now redirected to other programs and projects increasing the supply of affordable housing for low income households.

**R Street Expansion**

Senate Bill 1460 (Ch. 468, Stats. of 2002) amends Section 8193 of the Government Code to regulate the following affordable housing requirements for the R Street Area.

- At least 30 percent of all new and substantially rehabilitated dwelling units developed by CADA within the R Street Area shall be available at affordable housing costs for low or moderate income households. Of these units, at least 50 percent shall be affordable to very low income households.
- At least 15 percent of all new and substantially rehabilitated dwelling units developed by public or private entities other than CADA within the R Street Area shall be available at affordable housing costs for low or moderate income households. Of these units, at least 40 percent shall be affordable to very low income households.

## 5. TRANSPORTATION AND PARKING

### Objective

**To develop strategies, patterns and systems of movement into and within the Capitol Area that will provide adequate mobility for people, that will provide adequate parking, and that will enhance the area's environment.**

### Principles

- Support measures that promote transit and alternative transportation modes to further regional transportation and air quality objectives, while continuing to provide adequate automobile access.
- Maintain a comprehensive transportation demand management strategy to minimize traffic contributions from new and existing development.
- Maintain single-occupancy vehicle trip reduction goals and monitor progress toward their attainment.
- Ensure that the design of new buildings and any open space and street improvements support transportation management measures and facilitate walking, bicycling, and use of transit.
- Provide adequate automobile access and parking to support office and housing development and visitor services, consistent with established standards.
- Consolidate parking in the Capitol Area into structured garages to allow for development of sites that are currently used for surface parking, consistent with their land use designations.
- Accommodate parking demand for state employees and visitors at an appropriate combination of facilities, located both within the Capitol Area and at peripheral locations.
- Maintain parking management strategies for existing and new development that promote the use of alternative transportation modes.
- Examine opportunities for joint use of transportation and parking facilities with local agencies and for regional transportation planning and demand management programs.

## Status of Action Items

### Transportation Systems Management Plan

#### **A. Undertake steps to implement the Transportation Systems Management Plan.**

As reported in the January 2002 Capitol Area Plan Progress Report, the DGS began work in late 2000 to develop a Capitol Area Transportation Systems Management Plan (TSMP) as identified in mitigation measures for the Environmental Impact Reports for the Capitol Area Plan and the East End Complex. This TSMP will address increasing state employee commute alternatives, along with evaluating the overall existing and future parking demand for state office facilities in the Capitol Area, the cumulative parking demand for other state-owned/leased facilities in downtown Sacramento, and potential improvements in transit service to this area.

Elements of the TSMP will include, but are not limited to:

- Identification of opportunities to improve commute alternatives with the development of joint commuter dedicated and intra-city campus style shuttles;
- distribution and analysis of a state employee transportation survey that addresses commuter habits, work locations, and existing incentives to use alternatives to conventional transportation;
- assessment of improvements to conventional transportation alternatives such as bicycles, compressed natural gas-fueled shuttles, joint state/Regional Transit shuttles, commuter-dedicated buses, and an evaluation of current routes, capacities, and funding for the alternatives;
- development of feasible strategies to increase carpool, vanpool, and transit usage;
- assessment of existing and future cumulative demand for parking;
- assessment of the structure and market of parking rates;
- assessment of the need and opportunities for visitor parking;
- identification of parking structure opportunities and their respective costs; and
- assessment of the opportunities to develop plans for joint parking facilities with other public agencies.

Once the Management Plan is in place, it will be applicable as further development occurs in the Capitol Area.

**B. Review commute mode patterns for state employees, referring to items identified in the TSMP Program.**

In May 2001, the DGS conducted a survey of all state employees working in the Sacramento downtown area about commute choices, downtown traffic circulation, and parking. With the cooperation of 120 agencies and departments and their employees, responses were received from over 15,000 employees. Results of the survey are posted on the survey website, [www.stateyourmode.ca.gov](http://www.stateyourmode.ca.gov).

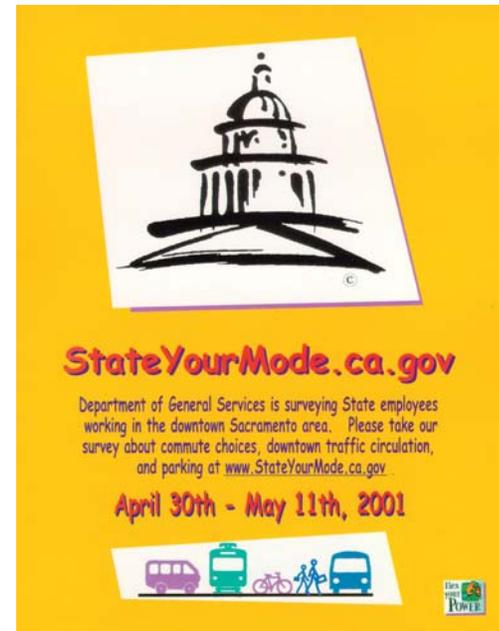
Preliminary findings from the survey responses include the following highlights:

- A majority of the respondents do not drive to work alone.
- Most cite the high cost of parking within the downtown region as the main reason they choose to use public or mass transit.
- Close to 7 out of 10 surveyed said they would try transit options if they could use a free shuttle to their worksite.

The transportation survey data presents valuable information that will be used for the development of the Capitol Area TSMP. It is expected that once the plan is active, similar surveys will be conducted periodically to assess the effects of Capitol Area development (including downtown development and the extension of the light rail system) on commute habits.

**C. Upon completion of two full years of implementation of the TSMP Program, ascertain if targeted programs are needed for specific development projects or agencies in the Capitol Area.**

This review is expected to occur within the identified timeframe.



## Parking

### **D. Maintain the parking standards for new state office buildings as identified in the 1997 Capitol Area Plan Implementation Program.**

The Capitol Area Plan has established reasonable parking standards for new office developments that range from 1.10 to 1.35 parking spaces for each 1,000 SF of gross office area. Parking planned for the East End Complex includes:

Blocks 171 – 174 – approximately 1,430 spaces

Block 225 – underground parking with 213 spaces

Total – approximately 1,643 spaces

In addition, the parking garage on Block 224, which was completed in early 2000, contains 753 spaces. An additional garage with 800 spaces on Block 266 and underground parking with 540 spaces below the office buildings on Blocks 203 and 204 are proposed for construction as part of the West End Project.

It should be noted that when the parking standards were established for the 1997 Capitol Area Plan, a 50 percent replacement assumption was established for displaced surface parking on the sites that were identified for office development. Government Code Section 8169.5 mandates, for the East End Complex project, 100 percent replacement for the surface parking. This factor will require that the DGS examine other alternatives to meet any unmet state employee parking demand from the East End Complex, including the use of additional peripheral parking. This issue is considered during development of the TSMP.

The TSMP will include a parking strategy for state facilities in downtown Sacramento. A study was conducted during the spring and summer of 2001 to identify the current parking supply for state-owned and leased facilities, parking rates, and level of utilization. This information is used to assess current and future parking needs and supply, identify parking structure development opportunities, and examine opportunities with other public agencies for joint parking facilities.



*Block 173 Parking Garage*



*Block 224 Parking Garage  
13<sup>th</sup> and P Streets*

- E. Ensure a coordinated program for parking facility construction, ensuring that parking standards are maintained during the course of implementation of the Capitol Area Plan development program.**

As directed by Senate Bill 1270 (Johnston) (Ch. 761, Stats. of 1997), the parking garage on Block 224 was completed before the beginning of construction of the East End Complex. Parking associated with the project on Blocks 171-174 and Block 225 will be available for use at the time of occupancy of the state office buildings.

- F. Explore opportunities to expand use of the DGS' parking facilities by visitors in evenings and on weekends.**

The Capitol Area Committee and the Technical Advisory Committee have endorsed the concept of using state parking facilities during nonworking hours. In addition, a Memorandum of Understanding, dated December 11, 1998, between the DGS and the City of Sacramento provides that the DGS will work with the city on the logistics of shared use, during the evening hours, of the parking structure on Block 173 of the East End Complex. A Joint Use Task Force was established to pursue this and other joint use issues for the East End Complex. Some limitations may exist due to the use of tax exempt lease revenue bonds as the financing mechanism for the entire East End Complex.

#### Bicycle Circulation

- G. Use the state's bicycle route planning map as identified in the 1997 Capitol Area Plan Implementation Program, to be implemented at opportune times of street repair and construction.**

The City of Sacramento presently has an extensive bicycle route system in place in the midtown, downtown, and the Old Town Sacramento areas. As development occurs in the Capitol Area, safe bicycle routing will be phased in to coincide with street repair and development that is required for the Plan's office and infrastructure expansion. It is expected that bicycle routing in the Capitol Area will tie in with future plans for Capitol Park that will be developed as part of the Capitol Park Master Plan. In addition, bikeways in the Capitol Area will help to establish a closer relationship with surrounding neighborhoods.

**H. Explore the feasibility of establishing shared bicycle parking and shower hubs in parts of the Capitol Area to serve existing as well as new buildings.**

Bicycle parking and available shower and dressing facilities are planned for the new tenants in the office development in the East End Complex. Currently, 160 bicycle parking spaces are under development in the East End Complex (100 spaces on Block 173 and 60 spaces on Block 225). Also, a total of 17 men's and 17 women's shower/locker rooms will be provided in the complex. These facilities will be distributed throughout the complex, with five units each in the Block 173 building, seven units each in the Block 174 building, and five units each in the Block 225 building. It is expected that the DGS will continue to provide these features in all new office developments and, as appropriate, in the future remodeling and rehabilitation of existing office buildings in the Capitol Area.



*Block 225 Bike Parking Room*

## 6. OPEN SPACE AND PUBLIC AMENITIES

### Objective

**To develop within the Capitol Area a network of attractive and convenient open spaces and access routes in order to improve the environment for workers, residents and visitors, and to encourage a favorable response to alternatives for moving within and using the resources of the Capitol Area.**

### Principles

- Protect the historic value and role of the Capitol Park as an arboretum and a public gathering space.
- Incorporate open space features into new office facilities and housing developments.
- Use the opportunity provided by development of the Capitol Area's east end to create an eastern entrance to Capitol Park and the Capitol Area.
- Ensure a streetscape that enhances the Capitol Area's identity and sense of place, is responsive to the needs of pedestrians and the requirements of adjacent activities, and orients visitors to destinations and services within the Capitol Area.
- Promote safety and security in open spaces and public areas, such as streets, for residents, employees and visitors, through design guidelines and planning and operations processes.

## Status of Action Items

### A. **Improve the Capitol Area's open space system in accordance with the implementation program described in the 1997 Capitol Area Plan Implementation Program.**

Opportunities to enhance the Capitol Area's open space amenities accompany the development of the new East End Complex. Capitol Avenue revisions between 15<sup>th</sup> and 17<sup>th</sup> Streets will present a parkway setting transitioning from Capitol Park to the midtown area. Through the use of building setbacks and street widening, together with appropriate landscaping, it will be possible to visually connect the new office complex/site to the Park. In addition, building setbacks and appropriate landscaping, trees, and other street improvements and furniture will provide open space opportunities throughout the East End Complex.

The East End Complex includes an art program to integrate art throughout the project that reflects the creativity, vitality, and diversity of the State of California and the design and architectural goals of the East End Complex. An Art Selection Panel, consisting of the State Architect, a museum director, an artist, an arts advocate and museum board member, and the director of a major cultural institution, working with an art consultant, identified the following opportunities for public art installations:

#### Capitol Avenue Plaza

Lita Albuquerque and Mitchell de Jarnette, Santa Monica

#### 15<sup>th</sup> Street stone sculptures

Kenneth Matsumoto, San Jose

#### Etched elevator doors for each lobby of the five buildings

Anne Marie Karlsen, Los Angeles;

Synthia St. James, Los Angeles;

Lynn Criswell, Chico;

Jody Zellen, Santa Monica; and

BEEP, Inc., South Pasadena



*East End Complex  
Capitol Avenue Plaza  
Under Construction*

Block 171

Lobby sculpture – Ann Weber, Los Angeles;  
Lobby sculpture – Allison Saar, Canyon  
Collage along main corridor – Michael Stevens, Sacramento  
Mural in L Street lobby exit – Royal Chicano Air Force, Sacramento  
Courtyard stone mosaic, sculpture, and water feature – Masayuki Nagase and Michele Ku, Berkeley

Block 172

Lobby artwork – John Okulick, Venice  
Pre-function auditorium area seating – Michele Houston, Los Angeles  
Two-story pre-function area hanging artwork – BEEP, Inc. (Pae White and Tom Marble), South Pasadena  
Sculpture on terminating wall of the elevator lobby – Michael Bishop, Chico

Block 173

Lobby mural – Alexis Smith, Venice  
Parking Garage metal grillwork along L and 16th Streets – Victor Zaballa, San Francisco

Block 174

Lobby light sculpture – Blue McRight, Venice  
Mural at terminating wall of the elevator lobby –BEEP, Inc. (Pae White and Tom Marble), South Pasadena

Block 225

Lobby artwork – Jud Fine, Venice  
Pocket park – Cliff Garten, Marina del Rey  
Child care fence grillwork along O Street – Gale McCall, Inglewood  
Tile mural in the child care facility –Suzanne Adan, Sacramento

Artists were solicited in spring 2001 through an announcement of public art opportunities and design agreements have been executed with the selected artists. The artwork at the Education Headquarters on Block 225 has been completed. It includes a lobby installation by artist Jud Fine consisting of a serpentine boulder, a Foucault pendulum, an etched quote, and enlarged replicas of chameleons. The elevator doors artist, Anne Marie Karlson, created etched and colored collages presenting quotations and images relevant to education and learning. The outside of the building in the child care play area is bordered by a unique, handmade ceramic tile mural created by artist Suzanne Adan. The child care center fencing is adorned by rings of interlocking shapes and different colors created by artist Gale McCall. The Pocket Park was designed by artist Cliff Garten



*Block 225 Lobby*

and integrates landscaping, a bronze fountain, and decorative fencing and seating to provide a peaceful transition between the Dean Apartments Building and the office building. Children's artwork is interspersed throughout the upper floors of the building.

Progress on the development of the Capitol Park Master Plan was suspended in early 2001, after the January truck crash into the State Capitol so that state officials could assess the implications that any resulting security measures would have on Capitol Park and its master plan. Development of the master plan will be a two-year effort that will result in the adoption of a plan to guide future land use and maintenance decisions for Capitol Park. The scope includes the entire Capitol Park (as recognized in statute), extending from 9<sup>th</sup> Street on the west to 15<sup>th</sup> Street on the east. The DGS expects to resume work on the master plan in early 2003. The Capitol Area Committee will have a representative on the policy committee.



*Block 225 Elevator Doors*

During 2002, the Firefighters Memorial and two brass Early California History commemorative seals were completed and installed in Capitol Park. The Firefighters Memorial is located at the southeast corner of the 13<sup>th</sup> Street driveway and center pathway in Capitol Park. It was completed in April 2002. The brass commemorative seals, one honoring early Spanish settlers; the other honoring Native Americans, are located on the west steps of the Capitol and were installed in May 2002.



*Firefighters Memorial*

A second memorial, the World Peace Rose Garden, to be located on the west side of 15<sup>th</sup> Street south of L Street on the present rose garden site, is expected to commence construction in January 2003. A ceremonial groundbreaking for the project was held on September 11, 2002. Both memorials required environmental review, which was accomplished last year. The DGS was the approval authority on these projects, and all changes will be made in accordance with the DGS' recommendations and requirements. A third memorial that has been authorized, the Mexican-American War Memorial to be located on the west side of 10<sup>th</sup> Street at its intersection with the Capitol Mall Circle, is not far enough along in the development process to be presented to the Capitol Area Committee.

Another open space feature in the Capitol Area will be preserved on Block 286 (14<sup>th</sup>/15<sup>th</sup> and P/Q Streets) with the retention of 19,200 SF of community garden as part of the proposed Fremont Mews development. This garden area will be managed by the City of Sacramento. Additionally, as part of the Fremont Mews Development, CADA acquired a 32,424 SF site at 5<sup>th</sup> and W Streets, where Southside Gardens, a new community garden, will be established. This site was acquired with funding provided by the DGS through a credit toward the purchase of the Fremont Mews site. CADA plans to donate the parcel to the City of Sacramento Parks Department, which will operate the garden.



**B. Develop a comprehensive signage program for the Capitol Area prior to commencement of street improvement activities.**

It is expected that the development of the streetscapes in the East End Complex will offer an opportunity for the DGS to work with CADA, the City of Sacramento, and other local entities on developing a coordinated signage program to serve the needs of a wide variety of visitors and to guide them to agency locations, historic focal points, and other points of interest in the Plan area. The program will also call attention to important streets, bikeways, transit stops, parking facilities, and other points of interest in the Capitol Area. The State of California (DGS and Department of Parks and Recreation) has been included as a primary stakeholder in the development of a Sacramento Central City Wayfinding System under development by the City of Sacramento and the Downtown Sacramento Partnership. This program is intended to create a uniform and comprehensive system to efficiently direct travelers to and from major destinations in the Central City. Preliminary decisions have been made on project area, sign functions, sign designs, destinations to be signed, and major routes. If funds are available, application of the program could be expanded throughout the Capitol Area to ensure consistency in signage with other areas in the Sacramento Central City.

**C. Develop streetscape improvement plans for priority streets, consistent with the open space and amenities implementation program, in the context of new development activities.**

The DGS will be working with the City of Sacramento and utility and service providers to initiate changes in the streetscapes surrounding and within the East End Complex, especially for Capitol Avenue as it extends through the East End Complex from 15<sup>th</sup> to 17<sup>th</sup> Streets. As a mitigation measure, historic replica street lights will be installed on Capitol Avenue and the surrounding streets around the entire complex. In addition, these lights will be installed on 16<sup>th</sup> Street between the complex through Fremont Park to the light rail station on R Street. They have already been installed along O Street between the Block 225 building and the light rail station between 11<sup>th</sup> and 12<sup>th</sup> Streets. Additionally, there will be opportunities to bring the streets fronting the development into an integrated layout of landscaping, tree planting, open space, and sidewalk amenities that will be attractive to pedestrians. At the same time, the streets will continue to maintain their functionality as traffic thoroughfares. Similar considerations will be given by CADA during the development of residential and commercial projects.



*Historic Lights at  
14<sup>th</sup> and O Streets*



*Block 225 Pocket Park*

## 7. DEVELOPMENT OF THE COMMUNITY

### Objective

**To stimulate the development of a community within the Capitol Area which is attractive and comfortable to work in, live in, and visit, which is integrated into the fabric of the rest of the City of Sacramento, and which is physically and economically viable over the long term.**

### Principles

- Provide commercial and service facilities to meet the needs of residents, employees, and visitors in the Capitol Area.
- Incorporate ground floor commercial into new state office and parking facilities and housing developments as feasible and appropriate, consistent with principles and land use designations, market demand, and other development considerations.
- Develop concentrations of commercial, social, and recreational activities for Capitol Area residents and employees.
- Link the Capitol Area physically and functionally to surrounding commercial and residential neighborhoods.

## Status of Action Items

### A. Use the Capitol Area Plan development program as the framework for decisions relating to the amount and type of new commercial activities in the Capitol Area.

The 1997 Capitol Area Plan references an estimated need for approximately 90,000 additional square feet of retail, commercial, and service space as the Plan is built out to its maximum office and residential capacity. In terms of development and space distribution, some 15 blocks within the Plan area are involved or will be involved in office and residential developments that will include or accommodate this type of space. Most of this floor space will involve retail/commercial uses. However, two of the developments may involve office/commercial developments, and one will be a child care service facility. Seven of the developments are connected with residential developments under CADA's sponsorship and eight are under the DGS state-owned office development program. Existing CADA managed retail/commercial properties are listed in Appendix D.

These retail, commercial, and service activities reflect a considerable investment and effort in planning and development by both the DGS and CADA and will broaden the scope of community services in the Capitol Area. The referenced blocks and their related projects are outlined in the table below.

	Block Number	Retail/Commercial Development	Development	Type of Space	Square Feet
Residential Blocks	075	CADA Warehouse	In Planning	Office/Commercial	3,200
	172	East End Gateway	Potential		TBD
	231	East End Gateway	Potential		TBD
	232	East End Gateway	Potential		TBD
	233	East End Gateway	Potential		TBD
	234	Fremont Building	Completed	Retail/Commercial	12,000
	292	1500 Q Street	Completed	Retail/Commercial	1,200
Office Blocks	173	East End Complex	In Construction	Retail/Commercial	6,800
	174	East End Complex	In Construction	Retail/Commercial	6,000
	225	East End Complex	Improvements Pending	Retail/Commercial	6,400
	225	East End Complex	Completed	Child Care interior	7,367
	203	West End Complex	Potential		TBD
	204	West End Complex	Potential		TBD
Garage Blocks	275	Caltrans Block	Potential		TBD
	224	East End Complex	Completed	Office/Commercial	6,500
	266	West End Project	Potential	Retail/Commercial	TBD

TBD: To Be Determined

**B. Locate space for commercial and services in office, parking, and residential development projects.**

As indicated by the preceding table, progress is being achieved toward meeting the overall commercial/retail requirements for the Capitol Area Plan, through close cooperation between the DGS and CADA.

In the residential blocks, there are three separate CADA projects with a retail/commercial component, including the proposed CADA Warehouse Project, the proposed East End Gateway Project, and the recently completed Fremont Building. The 7,800 SF of proposed retail in the Fremont Mews project, reported in the January 2002 Capitol Area Plan Progress Report, has been removed from the project in order to concentrate retail activity on 16<sup>th</sup> Street. The state and CADA participated in the funding of the reconstruction of 1500 Q Street, which includes ground floor retail space. Approximately 13,200 SF of retail/commercial space has been completed and added to the Capitol Area inventory, and an additional 3,200 SF of this type of space is in the planning stage. In 2003, the plans for the East End Gateway Project will be formalized and additional retail/commercial square footage will be included.

In the office and parking garage blocks, 6,500 SF of office/commercial space have been completed in the Block 224 garage, and approximately 26,500 SF of retail/commercial/service space is under construction in the East End Complex and is scheduled for full completion in 2003-2004. The child care center in the Education Building on Block 225 is built out, however, not yet operating. The tenants are in the process of forming a non-profit board of directors, which in turn will select a provider for the center. Improvements are pending until a tenant is selected. Additionally, new commercial square footage could be included as part of the West End Project and the Block 275 state office opportunity site (proposed for Caltrans).

Since early 2000, and to the date of this report, a total of 19,700 SF of space has been added to the Capitol Area commercial inventory. An additional 29,500 SF is in construction or in the planning stage and is expected to be added to the total by the end of 2004. The total retail/commercial/service space at that time will total approximately 49,200 SF or approximately 54 percent of the 90,000 SF identified in the Capitol Area Plan.



*Block 225 Child Care Center*



*Child Care Center Artwork*



- C. Provide a variety of types of space, as appropriate for neighborhood retail, eating establishments, non-retail support commercial, and community services, consistent with the community development program.**

Within the context of the Capitol Area Plan documents, the DGS and CADA have an established program for coordinating the location of commercial and retail space in the Capitol Area, creating a link between the Capitol Area and the surrounding commercial and residential neighborhoods. In this regard, every effort is being made to provide a variety of opportunities to locate space for commercial, retail, eating establishments, and service uses in strategic locations within the Capitol Area. For state-owned buildings, these efforts will be consistent with applicable legal requirements, including the Department of Rehabilitation's Business Enterprise Program.

## **8. SUSTAINABLE DESIGN AND ENERGY CONSERVATION**

### Objective

**To ensure that the evolution and the development of the Capitol Area accomplishes an increase in the intelligent and efficient use of energy resources within the scope of state operations in metropolitan Sacramento.**

### Principles

- Ensure that new office, residential and commercial buildings meet applicable energy conservation building codes.
- Retrofit existing buildings to increase energy efficiency where appropriate and feasible, consistent with applicable laws and regulations.
- Maintain and promote energy efficiency in the management of state-owned facilities, including energy-efficient infrastructure to support those facilities.

## Status of Action Items

### A. Comply with energy-conserving new and state historic building codes and operational procedures.

In December 2000, the state was confronted with an unprecedented period of electricity shortages that lasted through the winter of 2000/2001 and into the spring and summer months. This situation emphasized that limits on energy availability and the need for conservation affect management of all state buildings and facilities in the Capitol Area, as well as the rest of California. As reported in the January 2002 Capitol Area Plan Progress Report, the state developed an extensive energy management, savings, and awareness program to ensure the continuity of critical state operations, especially in periods of outages. These efforts produced impressive results. Statewide energy consumption was reduced by 20 percent in 37 of the state's largest buildings.

The state continued with an aggressive energy conservation program throughout 2002, maintaining the 20 percent reduction in energy consumption, a savings of over 31 megawatt hours statewide in the first nine months of 2002. To promote energy conservation and efficiency, a successful energy fair was held at the State Capitol in the summer of 2002. In Sacramento, the DGS has saved 1,000 megawatt hours with various innovative lighting retrofit projects and has started projects totaling over two million dollars that will provide another 7,000 megawatt hour annual savings.

Also, during 2002, the DGS has conducted Federal Environmental Protection Act benchmarking on the DGS facilities to determine each building's level of energy efficiency. The department has received the Energy Star Label for superior energy performance for seven facilities, including the Department of Justice Building at 1300 I Street and the Board of Equalization Building at 450 N Street in downtown Sacramento.

In August 2002, the largest state-owned, solar electric rooftop project was completed at the Franchise Tax Board (FTB) headquarters in Sacramento. The 50,000 SF system uses more than 3,100 photovoltaic panels installed on an acre of rooftop at FTB Building 2 to generate clean and reliable power from the sun, enough electricity to supply the building with about half of its energy needs. The system is capable of producing 469 kilowatts peak



*Franchise Tax Board Headquarters  
Photovoltaic Panels*

power, or the equivalent of the power used by more than 400 homes. This project was the result of a partnership with the DGS, the FTB, the Sacramento Municipal Utility District, and the PowerLight Corporation of Berkeley.

In a broader sense, the DGS has consistently been a leader in promoting sustainable building design measures in the development, financing, and construction of energy efficient projects in the Capitol Area. Since 1994, these projects include upgrades to the central heating and cooling plant and new energy management systems for the 23 state buildings connected to the central plant. In addition, energy efficient lighting improvements have been completed in 15 downtown state-owned buildings.

The DGS currently is developing a schedule and plan to respond to a Cease and Desist Order issued by the Central Valley Regional Water Quality Control Board in March 2002, because of thermal pollution caused by the central plant's discharge of heated water into the Sacramento River. The department has identified a mitigation measure that would cease groundwater pumping and river discharge by revising and upgrading the condenser water cooling system and adding cooling towers and thermal energy storage to the plant's operations. These improvements will result in a more energy efficient and environmentally responsible heating and cooling process and provide additional capacity required by the construction of the 1.4 million GSF West End Office Project. The mitigation work must be completed by the March 2006 deadline imposed by the Cease and Desist Order.

In August 2000, Governor Gray Davis issued Executive Order D-16-00 establishing a state sustainable building goal to site, design, deconstruct, construct, renovate, operate, and maintain state buildings that are models of energy, water, and materials efficiency. The Secretary of the State and Consumer Services Agency, through the DGS' real estate program, will identify economic and environmental performance measures in order to implement the sustainable building goal. In 2002, the DGS created the Office of Sustainability to assist the department in achieving sustainability goals.

The East End Complex incorporates the latest "green construction" features into an energy efficient and sustainable building design. The Governor's Sustainable Building Task Force, a unique partnership of more than 40 governmental agencies, assisted in the design and implementation of green building strategies associated with the construction of these buildings, which are the "greenest" ever built by the state. The energy efficient measures enable the complex to exceed the relevant requirements of Title 24 of the California Building Code by 30 percent, saving an estimated \$430,000 in annual energy costs. Features of these new buildings are described on the following page.

- Modular furniture meeting new environmental specifications.
- First DGS-installed under floor air distribution system that allows individual temperature control to enhance employee productivity and comfort.
- Strongest indoor air quality strategies ever used by the DGS, integrated early into the construction process. Includes extensive material testing and a thorough building flush out.
- Materials selected for high-recycled content and low emissions, including carpet with 53 percent recycled content and acoustical ceiling tiles with 82 percent recycled content.
- Over 5,000 photovoltaic panels producing up to 160 kilowatts of electricity on-site, or the equivalent of the power used by more than 50 houses.
- “Cool roofing” material on each building reflecting sunlight and reducing cooling costs up to 40 percent.
- More than 30,000 SF of salvaged marble flooring from the historic Library and Courts Building incorporated into the main lobbies of all five buildings.
- Ninety-seven percent of construction waste (more than a quarter of a million tons) diverted from landfill disposal. Ten 60-foot historic California fan palm trees removed and replanted in Capitol Park.
- “Smart” light controls, high-efficiency fluorescent lamps, window glazing, and open workstations maximizing natural light penetration.
- Interior and exterior water efficiency measures including low-flow plumbing fixtures and plant-segregated irrigation systems.
- Electric vehicle charging stations, preferred carpool and alternative fuel vehicle parking, and bicycle lockers and shower facilities promoting clean air.

The Capitol Area East End Complex continues to be the benchmark for future state office buildings. The recently completed office building in the five-building complex, which headquarters the California Department of Education (Block 225), the “greenest” building ever built by the State

of California, is expected to receive the state's first U.S. Green Building Council (USGBC) Leadership in Energy and Environmental Design (LEED™) 2.0 Gold Rating. The LEED™ rating system was developed by the USGBC for evaluating environmental performance from a whole-building perspective. Provided as a project enhancement during the proposal phase, the design/build teams, with assistance from 3D/I, have begun the application process for this distinguished recognition. The Block 171-174 project will be submitted to USGBC early 2003 and is anticipating a Silver LEED™ rating.

In an area related to building design and energy efficiency, a new element is being added as a required component in development of office buildings by the DGS. In an effort to ensure that the planning, design, construction, and evaluation of state buildings results in the highest quality product, the "Excellence in Public Buildings Initiative" has been added as a required component in the DGS advertisements for selected state building projects. The purpose of this initiative is to produce high-performing public buildings in all respects and to leave a positive architectural legacy for the people of California.

Some of the project goals that may be included are energy efficiency and conservation, operating efficiency, design excellence, use of sustainable building materials, quality control, communications and controls technology, placement of public art, occupant satisfaction, and commissioning. The earliest application of this initiative in the Capitol Area will be applied in the renovation and upgrading of Office Building 8 and the Department of Education Building when these facilities are vacated after the completion of the East End Complex. Additionally, it is expected that sustainable building standards and design excellence standards will be applied to developments in the proposed West End Project and other state renovation and development projects in the future.

In 2002, the DGS completed restoration work on the fifth floor judicial chamber in the Stanley Mosk Library and Courts Building at 914 Capitol Mall. The work included restoring the chamber to its original historic condition. The historic building was officially dedicated in honor of the former Supreme Court Justice on November 6, 2002.



*Block 225 Work Spaces*



*Photovoltaic Panels on Block 225*



*Lobby Stone Floor at Block 225*

**B. Promote curbside recycling, tree planting, and other area-wide energy conservation programs.**

As noted before, CADA has ongoing energy policies for use in existing and newly developed residential and commercial properties in the Capitol Area. Additionally, CADA has established an ongoing working relationship with the City of Sacramento to install street trees within the Capitol Area, to promote curbside recycling for residential properties, and to develop other plans for energy conservation over the long term. These efforts will dovetail with those of the DGS in terms of promoting energy conservation in office and parking developments.

**C. Explore the feasibility of using electric shuttle vehicles.**

The DGS Office of Fleet Administration (OFA) staff has explored the use of electric shuttle vehicles for the peripheral parking shuttle service. However, after evaluating the Sacramento Regional Transit's experience with electric shuttle buses, it was advised that a number of obstacles must still be overcome before electric buses can be used successfully. Nonetheless, at the present time, the OFA uses primarily late model diesel buses and includes two Compressed Natural Gas powered buses for parking shuttle service in and out of the Capitol Area.

Currently, the DGS provides shuttle bus service to and from the peripheral state employee parking lots under the W/X Freeway. Three bus routes service the Capitol Area and vicinity throughout the day. With the DGS move to West Sacramento, an agreement was entered into with the Sacramento Regional Transit (RT) to provide shuttle service to transport employees between major transit stops in the Capitol Area and the Ziggurat Building. The replica trolleys provide this service during morning and afternoon commute periods. Effective April 2003, RT will begin service to the peripheral lots and will use Compressed Natural Gas powered buses.

**D. Consider energy efficiency as a criteria in the selection of streetlights and other street furniture and infrastructure.**

The development of the East End Complex and future state building projects and restorations will offer an opportunity to incorporate energy saving elements in streetscapes, including advanced infrastructure and equipment for street lighting, landscaping, and curbside amenities that will be less expensive (energy consuming) to operate and maintain. At the same time, streetscape safety and comfort will be enhanced. In 2001, the DGS installed a new energy system for lighting in Capitol Park reducing the wattage for the lights by approximately 20 - 25 percent while reducing the actual lighting by only about five percent.

CADA will be working with developers of residential and residential/commercial projects to provide similar energy efficient streetscapes and street amenities. Here again, the need will be to provide a safe, comfortable, and attractive street presentation that will encourage local residents, employees, and visitors to make use of the commercial facilities at times other than working hours.

## 9. STATE'S RELATION TO LOCAL GOVERNMENT

### Objective

**To ensure the integration of planning and development efforts in the Capitol Area with the activities of all appropriate local governmental agencies.**

### Principles

- Coordinate the state's Capitol Area planning and development efforts with local and regional agencies to ensure integration of the Capitol Area with the surrounding area.
- Work with local governments to ensure compatibility of land uses and building intensities between state-owned and privately-owned sites in and adjacent to the Capitol Area.
- Coordinate infrastructure improvements with the City of Sacramento and relevant agencies to ensure adequate services to support planned development.

## Status of Action Items

- A. Use the Technical Advisory Committee as a mechanism to address land use, urban design, and infrastructure provision issues, and to encourage adoption and incorporation of Capitol Area Plan provisions in local plans and implementation documents.**

The DGS chairs the Technical Advisory Committee. Other entities represented on the committee include CADA, various branches of the DGS, the Legislature, other state agencies, agencies of the City of Sacramento, the City of West Sacramento, and regional planning agencies such as the Sacramento Regional Transit and the Sacramento Metropolitan Air Quality Management District. In addition, other business and neighborhood associations including the Sacramento Downtown Partnership and the Capitol Area homeowners associations have representation on the Technical Advisory Committee.

This committee advises the Capitol Area Committee on technical issues pertaining to Capitol Area Plan activities. Additionally, through this committee, an ongoing process has been created to provide a broad two-way communications channel between the agencies on plans, projects, and activities of mutual interest. The Technical Advisory Committee will continue to be used to provide a close relationship between all interested agencies and groups to ensure a Capitol Area Plan that is representative of the needs and expectations of the state and the surrounding community.

- B. Inform affected local government agencies of short- and long-term development plans in the Capitol Area.**

The Capitol Area Committee and the Technical Advisory Committee were created to provide effective communication between local government agencies and the state entities that are responsible for the implementation of the Capitol Area Plan. These committees meet regularly and receive public input from agencies and concerned groups or individuals regarding all aspects of the Plan implementation. Regular agenda items include updates on CADA activities, the East End Complex, including the public art program, and the Capitol Park Master Plan. Additionally, the City of Sacramento is included on the agenda quarterly to report to the Committees on non-state planning and development activities in the downtown area.

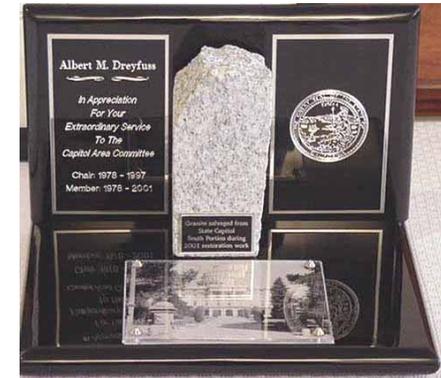
In 2002, the Capitol Area Committee welcomed three new members. Jay Hansen was appointed by the Assembly Speaker's Office to the position held by Al Dreyfuss. Mr. Dreyfuss' term ended in December 2001. At the April Capitol Area Committee meeting, he was recognized for his distinguished service and commitment to the development of the Capitol Area for four decades of exemplary leadership since 1959, when he was the Chairman of the Capitol Building and Planning Commission. He was a member of the Capitol Area Committee since its inception in 1978 and the first Chairman until 1997.

In November 2002, the Governor appointed Jerry Haleva and Adrian Randolph to the committee. Mr. Haleva was appointed to a vacant position and Mr. Randolph was appointed to the position held by Carolyn Reid, whose term had expired.

The meeting schedule for the Technical Advisory Committee changed in 2001 from monthly meetings to quarterly meetings to respond to the shift in the nature of Capitol Area activities from planning to development. Once planning begins for the West End Project, it is expected the process will include opportunities for local government, the public, and other interested parties to provide comments and suggestions for the architect's consideration. During this time, it may be necessary for the Technical Advisory Committee to meet more frequently.

**C. Participate in local government planning efforts that affect state interests in downtown Sacramento.**

The DGS will continue to participate in local planning efforts, especially those addressing downtown planning and development projects and issues that may impact the Capitol Area. The state has participated in several local government committees and task forces, which include the Downtown Sacramento Partnership, the 2005 Downtown Sacramento Development Strategy Technical Advisory Committee, the Thursday Night Market Committee, the Downtown Sacramento Partnership Parking Committee, CADA planning charettes and public workshops, and the Broadway Corridor Task Force. Additionally, the DGS is involved in a City of Sacramento/Downtown Sacramento Partnership effort to develop a Sacramento Central City Wayfinding/Signage Program. These special committees and workshops provide the state with information on planning activities in neighboring areas, while strengthening relationships between the state, city, neighborhood groups, and other downtown entities.



*Recognition Plaque Presented to Al Dreyfuss*

As a property owner, the State of California is participating financially in two business improvement districts, including the Downtown Sacramento Partnership and the Capitol Station Business Improvement District, which covers the Richards Boulevard area. Additionally, the state is participating in an assessment district formed by the Sacramento Area Flood Control Agency and approved in June 2000 to raise funds for flood control projects in Sacramento.

The Joint Use Task Force Committee, which was formed in June 1999 for the East End Complex and met through early 2000, was a collaborative effort between the state, local government, and the community to develop a strategy for the activation of the East End Complex. It included representatives from the following agencies:

- City of Sacramento
  - Downtown and Regional Enterprise Department
  - City of Sacramento Parking
  - Sacramento Convention Center
- Downtown Sacramento Partnership
- Capitol Area Committee
- Capitol Area Development Authority
- Department of General Services, Real Estate Services Division

The group addressed areas of mutual interest, including opportunities to achieve an activity level during business and non-business hours, which contributes to and supports the adjacent community.

Development of the East End Complex is coordinated closely with the City Technical Committee, which meets on common issues, including off-site traffic, tree relocation, and emergency response. Members of this committee include the state management team and representatives of the City of Sacramento, CADA, Caltrans, Regional Transit, and the design/builders.

The DGS will follow the city's environmental review in 2003 of the South Midtown Area Revitalization and Transportation Plan Project because it proposes modifications to L, N, P, and Q Streets that would reduce the number of traffic lanes from three to two in the vicinity of the East End Complex. The department is interested in the proposed project's effect on traffic and transportation in the Capitol Area.

In accordance with the mandates of Senate Bill 1460 (Ch. 468, Stats. of 2002) that was approved by the Governor in September 2002, CADA will be preparing a redevelopment plan for the R Street Area that furthers the purpose and objectives of the Capitol Area Plan. The DGS, the City of Sacramento, and other stakeholders will be participants in this process in 2003.

## 10. ADMINISTRATION AND IMPLEMENTATION

### Objective

**To ensure the effective implementation of the plan, by providing effective development mechanisms, by maintaining communications and coordination with all agencies and constituencies and by updating the plan as needed.**

### Principles

- Maintain Department of General Services responsibility for updating and implementing the Capitol Area Plan.
- Continue to utilize the Capitol Area Committee and the Technical Advisory Committee as advisory bodies to the Director of the Department of General Services.
- Continue to support housing and commercial development on state-owned land and management of existing state-owned residential and commercial buildings by CADA.
- Monitor Capitol Area Plan implementation on an on-going basis.

## Status of Action Items

- A. Evaluate progress on Capitol Area Plan implementation on an annual basis, with particular focus on actions identified as priorities for the year.**

This Progress Report is designed to meet the requirements of Government Code Section 8164, which requires the DGS to present an annual analysis and reporting to the Legislature on the implementation of the Capitol Area Plan.

- B. Review the Capitol Area Plan Implementation Program periodically as necessary; update the program and add or remove implementation actions as appropriate.**

The 1997 Capitol Area Plan was developed to be a flexible document that could adjust to current conditions and changes in future needs. As appropriate, the Implementation Program will be updated to ensure a correlation between the Capitol Area Plan objectives and the implementation action items. As construction is completed on the East End Complex and planning begins on the West End Project, there may be adjustments made in the specific action items, which will be reflected in the Capitol Area Plan Progress Report for 2003.

- C. Identify priority actions for implementation over the upcoming one- and five-year periods on an annual basis.**

Priority actions identified in the Capitol Area Plan Implementation Program continue to be valid.



## **APPENDICES**

Appendix A – Capitol Area Committee and Technical Advisory Committee

Appendix B – Capitol Area Development Authority (CADA)

Appendix C – CADA Managed Residential Properties

Appendix D – CADA Managed Commercial/Retail Properties

Appendix E – New CADA Housing Developed Since 1978

Appendix F – CADA Projects to be Completed 2003 - 2007

Appendix G – CADA Projects to be Completed 2008 - 2012

## APPENDIX A

### CAPITOL AREA COMMITTEE AND TECHNICAL ADVISORY COMMITTEE NOVEMBER 2002

#### CAPITOL AREA COMMITTEE

##### MEMBERS

Darryl Chinn, Chair  
Keith Felte, Vice Chair  
Jerry M. Haleva  
Jay C. Hansen  
Muriel P. Johnson, County Supervisor  
Kenn Kojima, Deputy Director  
The Honorable Deborah Ortiz  
Adrian L. Randolph  
The Honorable Darrell Steinberg

##### APPOINTING POWER

Governor's Office/City Representative  
Senate Rules Committee  
Governor's Office  
Assembly Speaker's Office  
Governor's Office/County Representative  
Department of General Services' Director  
Senate Rules Committee  
Governor's Office  
Assembly Speaker's Office

#### TECHNICAL ADVISORY COMMITTEE

##### STATE

Department of General Services  
    Real Estate Services Division  
    Office of Fleet Administration  
California Highway Patrol  
Senate Budget and Fiscal Review Committee  
Department of Transportation

##### LOCAL

Capitol Area Development Authority  
Somerset Parkside Neighborhood Association  
City of Sacramento  
    Department of Planning and Building  
    Department of Public Works, On Street Parking  
Downtown Sacramento Partnership  
City of West Sacramento, Redevelopment Agency  
Downtown Neighborhood Association  
Sacramento Air Quality Management District  
Sacramento Regional Transit District

## **CAPITOL AREA COMMITTEE**

### **AUTHORITY:**

The Committee was formed in 1977 to advise the Director of the DGS about issues affecting the Capitol Area Plan per Government Code Sections 8164.1– 8164.3.

### **MEMBERSHIP:**

The Committee consists of nine members appointed as follows:

- A. Four members are appointed by the Governor of which at least one is appointed from a list of three candidates submitted by the City of Sacramento, and at least one is appointed from a list of three candidates submitted by the County of Sacramento (four-year terms).
- B. Two members are appointed by the Speaker of the Assembly (one of whom may be a member of the Assembly), and two members are appointed by the Senate Rules Committee (one of whom may be a member of the Senate) (four-year terms).
- C. One member is appointed by the Director of the DGS (term is at the pleasure of the Director).

The Chairperson is elected by the Committee Members.

### **MEETINGS:**

Meetings are open to the public and are held on the first Thursday of every month at 2:00 p.m. (established by Committee). Meetings are held at least quarterly or upon call of the Chairperson or written request of any three members (Government Code Section 8164.2). Meetings are normally held at the CADA Headquarters, 1522 14<sup>th</sup> Street, 1<sup>st</sup> Floor Boardroom, Sacramento, California. Members are always notified of meeting changes and cancellations.

### **ORGANIZATIONAL FUNCTIONS AND RESPONSIBILITIES:**

The Capitol Area Plan was established for the orderly development of the state's facilities in the metropolitan area of Sacramento. It serves as the master plan for development of state-owned land within the Capitol Area. The DGS is assigned responsibility for carrying out development within the Plan Area in accordance with the Capitol Area Plan. The DGS must report annually (Government Code Section 8164) to the Legislature on its actions.

It is the purpose of the Committee to independently review the DGS' reports to the Legislature and to counsel and advise the DGS in the carrying out of its responsibilities related to the Capitol Area Plan. The Committee may submit separate comments on the DGS' reports on the Capitol Area Plan to the Legislature. The Committee involves a broad cross section of interested citizens in the form of an advisory body. The advisory body serves without compensation.

Within the DGS, the main point of contact for the Committee is the Real Estate Services Division, Asset Planning and Enhancement Branch.

### **CONTACT PERSON:**

Staff contact is Anne Garbeff, Senior Planner, Real Estate Services Division, Asset Planning and Enhancement Branch, 707 Third Street, Sixth Floor, West Sacramento, CA 95605. Her telephone number is (916) 376-1807; her fax number is (916) 376-1833.

## TECHNICAL ADVISORY COMMITTEE

### **AUTHORITY:**

The Committee was formed in 1977 to provide technical comments to the Capitol Area Committee. Government Code Sections 8164.1– 8164.3 established the Capitol Area Committee and provided that an advisory body to the Committee could be created.

### **MEMBERSHIP:**

Membership is determined by the DGS, Real Estate Services Division. Members are representatives of a cross section of planning, transportation, business, neighborhood, development, local, regional, and state agencies and associations who provide technical analyses and comments for the consideration of the Capitol Area Committee. In turn, the Capitol Area Committee advises the Director of the DGS about issues affecting the Capitol Area Plan. Member agencies and associations include:

Department of General Services  
Capitol Area Development Authority  
Senate Budget and Fiscal Review Committee  
Department of Transportation  
California Highway Patrol  
Sacramento Air Quality Management District  
Sacramento Regional Transit District

City of Sacramento  
Department of Planning and Building  
Department of Public Works, On Street Parking  
City of West Sacramento, Redevelopment Agency  
Downtown Sacramento Partnership  
Somerset Parkside Neighborhood Association  
Downtown Neighborhood Association

### **MEETINGS:**

Meetings are open to the public and are held quarterly and as additionally needed at 8:30 a.m. at the CADA Headquarters, 1522 14<sup>th</sup> Street, 1<sup>st</sup> Floor Boardroom, Sacramento, California.

### **ORGANIZATIONAL FUNCTIONS AND RESPONSIBILITIES:**

The Committee examines proposals and issues that may have an impact on the planning area governed by the Capitol Area Plan (Government Code Section 8160.1). Through the Chairman of the Committee, comments, analyses, and recommendations on technical planning matters and issues of the community are reported to the Capitol Area Committee.

### **CONTACT PERSON:**

John Brooks is the Committee Chairman and is also the Chief of the Asset Planning and Enhancement Branch, Real Estate Services Division, 707 Third Street, Sixth Floor, West Sacramento, CA 95605. His telephone number is (916) 376-1829.

Staff contact is Anne Garbeff, Senior Planner, Asset Planning and Enhancement Branch, Real Estate Services Division, 707 Third Street, Sixth Floor, West Sacramento, CA 95605. Her telephone number is (916) 376-1807; her fax number is (916) 376-1833.

## APPENDIX B

### CAPITOL AREA DEVELOPMENT AUTHORITY (CADA) BOARD OF DIRECTORS NOVEMBER 2002

#### Board of Directors

##### MEMBERS

Ann Bailey, Chair

Robert Chase

William Ishmael

Page Robbins

Aubry Stone

##### APPOINTING POWER

State of California

City of Sacramento

City of Sacramento

CADA Board of Directors

State of California

Executive Director: John W. Dangberg

Board Secretary: Sharon M. Bennett

## APPENDIX C

### CADA MANAGED RESIDENTIAL PROPERTIES SUMMARY REPORT - 2002 AS OF JUNE 30, 2002

ADDRESS	PROPERTY NAME	MARKET RATE UNITS (See Note 1)	RENT ASSISTED UNITS	TOTAL
1517 12th Street		6	3	9
1521 12th Street		1	3	4
1506 13th Street	McCafferty Manor	16	7	23
1512 13th Street		7	0	7
1428 14th Street	Metro Building	6	2	8
1317 15th Street	Lombard	11	1	12
1325 15th Street	Park Mansion	35	7	42
1421 15th Street	Biele Place*	1	34	35
1500 15th Street	Auslender	23	2	25
1501 15th Street	Dauger Manor	18	4	22
1510 15th Street	The Victorian	3	0	3
1514 15th Street	The Victorian	2	0	2
1412½ 16th Street		4	0	4
1601 16th Street	Elmwood	21	0	21
1316 N Street	Le Chateau	11	0	11
1320 N Street	Senator Manor	19	11	30
1400 N Street	Dean Apartments	11	0	11
1500 N Street	Brannan Court*	32	8	40
1517 N Street	Capitol Gardens	11	3	14
1522 N Street	Judith Manor	17	13	30
1616 N Street	Grantwood Manor	17	3	20
1622 N Street	Shelly Arms	21	9	30
1228 O Street	Gibson Arms	8	12	20
1316 O Street		5	6	11
1317 O Street	The Valencia	12	4	16
1327 O Street	Capri	5	7	12
1330 O Street		2	0	2
1400-04 O Street	Greentree	17	0	17
1414 O Street	Moore Manor	11	3	14
1420 O Street	The Statesman	15	12	27
1506 O Street	Johnston House*	0	6	6
1510 O Street	Don Carlos Apts.*	2	8	10
1515 O Street	Morgenson Manor	13	7	20
1625 O Street		13	7	20
1201 P Street	Del Capri	3	5	8

## APPENDIX C

### CADA MANAGED RESIDENTIAL PROPERTIES SUMMARY REPORT - 2002 AS OF JUNE 30, 2002

ADDRESS	PROPERTY NAME	MARKET RATE UNITS (See Note 1)	RENT ASSISTED UNITS	TOTAL
1209 P Street	Wing Manor	9	2	11
1214 P Street		5	0	5
1215 P Street	Gibbs Arms	8	4	12
1216-18 P Street		2	0	2
1220 P Street	Deus	8	3	11
1326 P Street		11	1	12
1330 P Street	Palm Mansion	4	0	4
1615 P Street	Patio Apartments	4	4	8
1617 P Street	Patio Apartments	5	7	12
1623 P Street	Lanai Apartments	5	7	12
1321 Q Street		6	0	6
1619 Q Street	Rooming House	16	0	16
1001-35 Q Street	Somerset Parkside*	1	25	26
1614-40 O Street	17th Street Commons	17	12	29
<b>TOTALS</b>		<b>500</b>	<b>252</b>	<b>752</b>

NOTE 1: With the exception of units in buildings which have affordability restrictions mandated by regulatory agreements, vacant units are counted as market rate units. Properties which have specific affordability restrictions are asterisked.

## APPENDIX D

### CADA MANAGED COMMERCIAL/RETAIL PROPERTIES, SUMMARY REPORT (June 30, 2002)

<u>ADDRESS</u>	<u>BUSINESS NAME</u>	<u>TYPE OF BUSINESS</u>
1601 10 <sup>th</sup> Street	Yummy Choice	Restaurant
1603 10 <sup>th</sup> Street	OB 2000	Restaurant
1607 10 <sup>th</sup> Street	Sacramento Bagel Time	Bakery
1623-25 10 <sup>th</sup> Street	Goodyear Cobbler and Cleaners	Cleaners and Shoe Repair
1424-1426 14 <sup>th</sup> Street	Capitol Park Salon	Beauty Shop
1501 14 <sup>th</sup> Street	Virga's Club American	Restaurant/Banquet Facilities
1317 15 <sup>th</sup> Street	Rob Hewitt	Attorney
1401 and 1409 16 <sup>th</sup> Street	Enterprise	Car Leasing
1412 16 <sup>th</sup> Street	Golden Gate	Cleaners
1413 and 1415 16 <sup>th</sup> Street	Simon's	Restaurant
1414 16 <sup>th</sup> Street	Luna's	Restaurant
1416 16 <sup>th</sup> Street	Clear Channel Outdoor	Billboard
1419 16 <sup>th</sup> Street	Mercury Cleaners	Cleaners
1421 16 <sup>th</sup> Street	Lowey/Ball	Consultant
1422 16 <sup>th</sup> Street		Vacant
1422 16 <sup>th</sup> Street	Jonathan Nichols	Consultant
1510-12 16 <sup>th</sup> Street	Antique Legacy	Antique Dealer
1520 16 <sup>th</sup> Street, #B	ACIS	Association
1520 16 <sup>th</sup> Street, #D	ACIS	Association
1530 16 <sup>th</sup> Street - A	Cup of Joe	Coffee Shop
1530 16 <sup>th</sup> Street - C	Environmental Equalizers	Consulting
1614 N Street	Hand-in-Hand	Day Care
730 O Street	Capital Athletic Club	Parking
1322 O Street	Virga's Catering	Caterers
1329 O Street	Rosey's	Cleaners
1330 O Street	Sam's	General Store
1331 O Street	Vallejo's	Restaurant
1036 P Street	Le Croissant	Bakery/Food
1209 P Street	Forever Young	Day Care
1212 P Street	RMB Enterprises	Computer Billing Services
14 <sup>th</sup> /15 <sup>th</sup> /P/Q Street	Ron Mandella Gardens	Community Garden
1108 R Street	Gilhooley's Irish Pub	Storage
1108 R Street	CSEA	Storage

## APPENDIX E

### NEW CADA HOUSING DEVELOPED SINCE 1978 AS OF OCTOBER 31, 2002

PROJECT	SITE	SITE ACRES	PRIVATELY OWNED	STATE OR CADA OWNED	NO. OF UNITS	D.U./ ACRE*	COMPLETED
Somerset Parkside 1001-35 Q Street	RS-2	2.50	75	26	Market 75 Low 26	40	1984
Saratoga Townhomes 900 Q Street	4B	1.17	36		Market 36	31	1983
Stanford Park 1515-23 P Street	15B/19 C	1.76	50		Market 50	28	1986
Palm Mansion 1330 P Street	7C	.07		4	Market 4	57	1985
Delta Victorians 1616-26 14 <sup>th</sup> Street	7D	.15	8		Market 8	53	1984
Wiese Townhomes 1612 14 <sup>th</sup> Street	7D	.07	3		Market 3	43	1993
Admail Express 1501-12 14 <sup>th</sup> Street	16A	.11	7		Market 4 Low 3	64	1984
Greentree Commons 1400-04 O Street	15A	.59		17	Market 17	29	1988
Brannan Court 1500 N Street	6A	.59		40	Market 32 Low 8	68	1988
Biele Place 1421 15 <sup>th</sup> Street	6B	.51		35	Market 1 Low 34	69	1984
17 <sup>th</sup> Street Commons	5	1.26		29	Market 17 Low 12	24	Phase 1: 1984 Phase 2: 2001
Wiese 17 <sup>th</sup> /O Streets 1631 O Street	8B	.15	3		Market 3	20	1988
Rooming House 1619 Q Street	9A	.15		16	Market 16	107	1982
Elmwood 1601 16 <sup>th</sup> Street	N/A	.44		21	Market 21	48	1981
Capital Terrace 1615 O Street	8C	.59	60		Low 60	102	1994
Governors Terrace 1519 14 <sup>th</sup> Street	15C	.59	44		Market 44	75	1997
The Inn Off Capitol Park 1530 N Street	N/A	.22	38		Hotel 38	173	2000
Fremont Building 1501 16 <sup>th</sup> Street	5A	.89	69		Market 58 Low 11	77	2001
1500 Q Street	N/A	.15	6		Market 4 Low 2	40	2001
17 <sup>th</sup> and N Streets	8E	.29	18		Market 18	62	2001
1321 Q Street (moved from 1201 Q Street)		.07		4	Market 4	57	2001
1326 P Street (moved from 1223 Q Street)		.15		12	Market 12	80	2001
Capitol Park Homes (12 <sup>th</sup> /14 <sup>th</sup> , P/Q Streets)	18A/7A	2.37	44		Market 34 Moderate 2 Low 8	19	2002
<b>TOTAL</b>		<b>14.84</b>	<b>461</b>	<b>204</b>	<b>Market 462 Moderate 2 Low 163 Hotel 38 Total 665</b>	<b>45 D.U./Acre</b>	

\* D.U./Acre – Dwelling Units per Acre

## APPENDIX F

### CADA PROJECTS TO BE COMPLETED 2003-2007

PROJECT	SITE NO.	BLOCK NO.	BLDG. SQ. FT.	SITE ACRES	NO. OF UNITS	DENSITY RANGE*	EST. COMPLETION
Capitol Park Homes (1) 12 <sup>th</sup> /14 <sup>th</sup> , P and Q Streets	18A/7A	281/284	69,779	1.08	Market 12 Moderate 4 Low 4	Low (19 DUA)	2003
CADA Warehouse 1108 R Street	N/A	075	188,803	1.18	Market 73 Moderate 19 Low 10	High (86 DUA)	2005
1610 17 <sup>th</sup> Street	9B	293 Parcel 11	Undeter- mined	.04	2	Medium (50 DUA)	2003
Fremont Mews 15 <sup>th</sup> and Q Streets	13	286	105,838 Approx.	2.05	Market 94 Low 24	Medium (46 DUA)	2005
16 <sup>th</sup> and O Streets (SW corner)	19C	232	Undeter- mined	.72	48	High (67 DUA)	2006
16 <sup>th</sup> and O Streets (NW corner)	6	231	Undeter- mind	.58	30	Medium (52 DUA)	2006
1531 N Street (16 <sup>th</sup> and N Streets)	12B	172	Undeter- mind	.70	50-75	High (71-107DUA)	2006
16 <sup>th</sup> and P Streets (SE Corner)	9A	293	Undeter- mined	.33	25-30	High (76-91 DUA)	2006
Units To Be Constructed					Market 179 Moderate 23 Low 38 Undet. 155-185		
<b>Net Units</b>				<b>6.68</b>	<b>395-425</b>	<b>(59-64 D.U./A)</b>	

\* Based on D.U./ACRE – Dwelling Units Per Acre

General Notes:

- (1) The above residential developments may include complementary mixed-use on the site.
- (2) Development of these units may require the demolition of existing buildings.
- (3) Assumptions may vary depending on market demand/conditions.

## APPENDIX G

### CADA PROJECTS TO BE COMPLETED 2008-2012

PROJECT	SITE	BLOCK #	ACRES	DENSITY RANGE	PROPOSED # OF UNITS
14 <sup>th</sup> and O Streets (SW corner)	16A	224B	.44	Medium	15
1400 14 <sup>th</sup> Street (14 <sup>th</sup> and N Streets)	21A	223	.58	High	60 or over
12 <sup>th</sup> and O Streets (Dept. of Veterans Affairs)	14C	222	1.90	Medium	65-135
16 <sup>th</sup> and N Streets (SE corner)	8D	233	.58	Medium	35
<b>TOTAL</b>			<b>3.50</b>		<b>175-245</b>

Notes:

- (1) The above residential developments may include complementary mixed-use on the site.
- (2) Development of these units will require the demolition of some existing buildings.